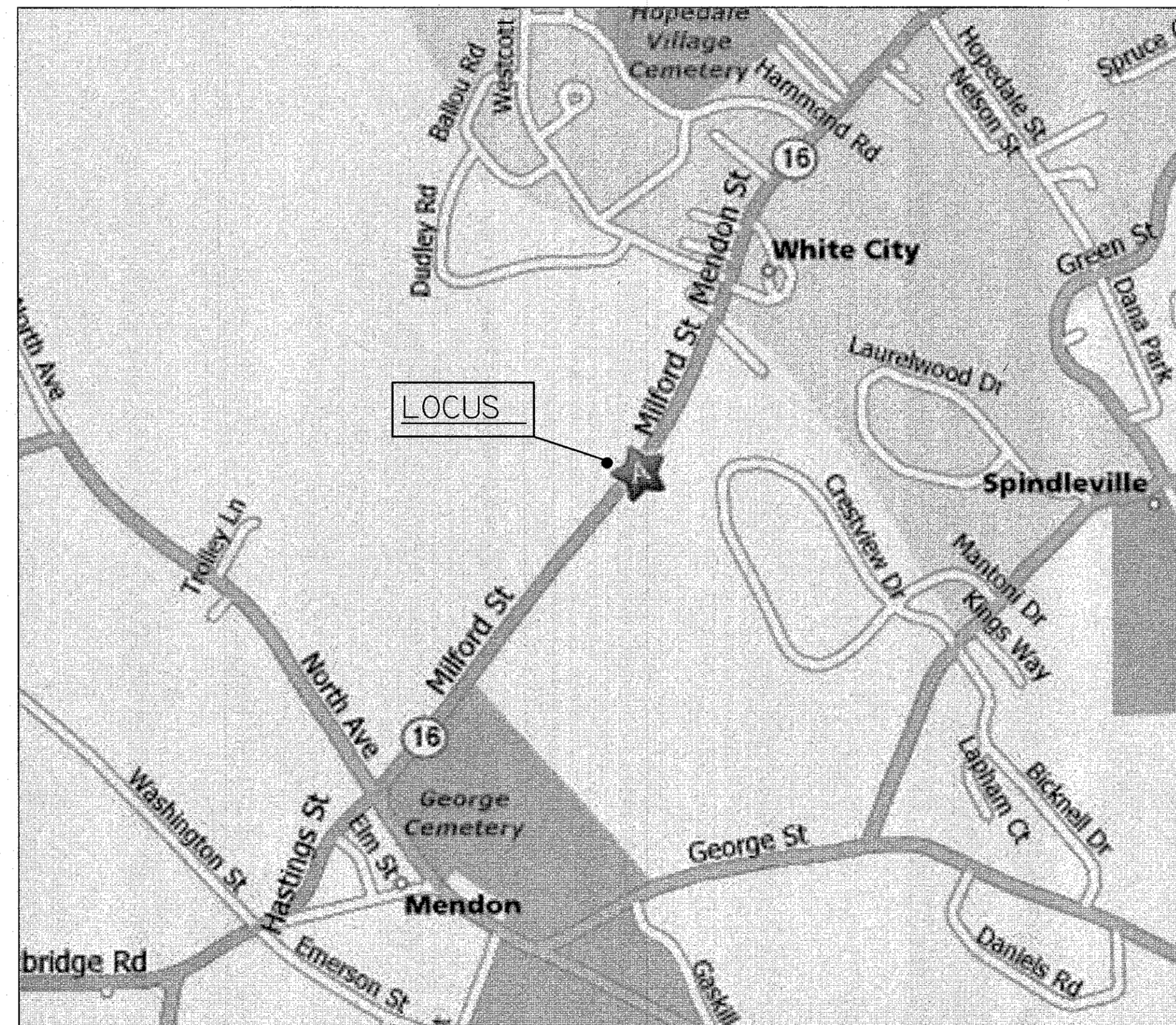


# "PROPOSED ADULT ENTERTAINMENT SITE"

## AT 49 MILFORD STREET IN MENDON, MASSACHUSETTS

OWNER:  
GEORGE FUNARI  
49 MILFORD STREET  
MENDON, MA 01756

DATE: OCTOBER 30, 2008

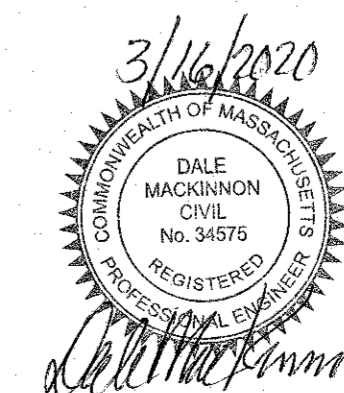


LOCUS MAP  
NOT TO SCALE

### INDEX

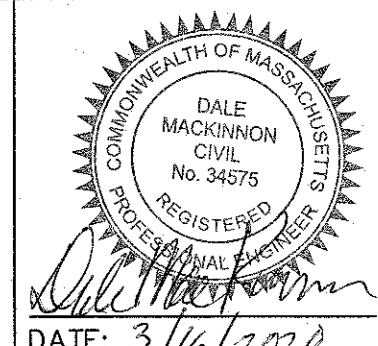
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING & UTILITY PLAN
5. LANDSCAPE PLAN
6. LIGHTING PLAN
7. DETAIL-1
8. DETAIL-2

REV.	DATE	DESCRIPTION	INIT
3	03/18/2020	REVISED FOR PLANNING BOARD MEETING COMMENTS	DMK
2	03/02/2020	REV FOR REVIEW COMMENTS	DMK
1	12/20/19	REV BID, WETLANDS, GRADING, DRAINAGE AND UTILITIES	DMK



**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
333 WEST STREET, MILFORD, MA 01757  
(508) 473-6630 FAX: (508) 473-8243





DATE: 3/16/2020

NOTES:  
1. PARCEL REFERENCE IN THE MENDON TOWN ASSESSOR MAP 9 LOTS 49.  
2. PARCEL IS WITHIN THE ADULT ENTERTAINMENT OVERLAY DISTRICT FOR TOWN OF MENDON.  
3. ELEVATIONS REFER TO 1929 NVD DATUM.  
4. LIGHTING SHALL CONFORM TO THE MENDON BYLAW. ALL PROPOSED LIGHTING WILL NOT CAUSE GLARE OFF-SITE.

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"  
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.  
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EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- ⊕ HYDRANT
- ⊕ WATER GATE
- 000 — CONTOUR
- — — PROPOSED FENCE
- △ INVERT
- HEADWALL
- UTILITY POLE
- GUYWIRE
- WELL
- IRON PIN (I)
- STONE BOUND (I)
- DRILLHOLE (I)
- STONEWALL
- GUARDRAIL

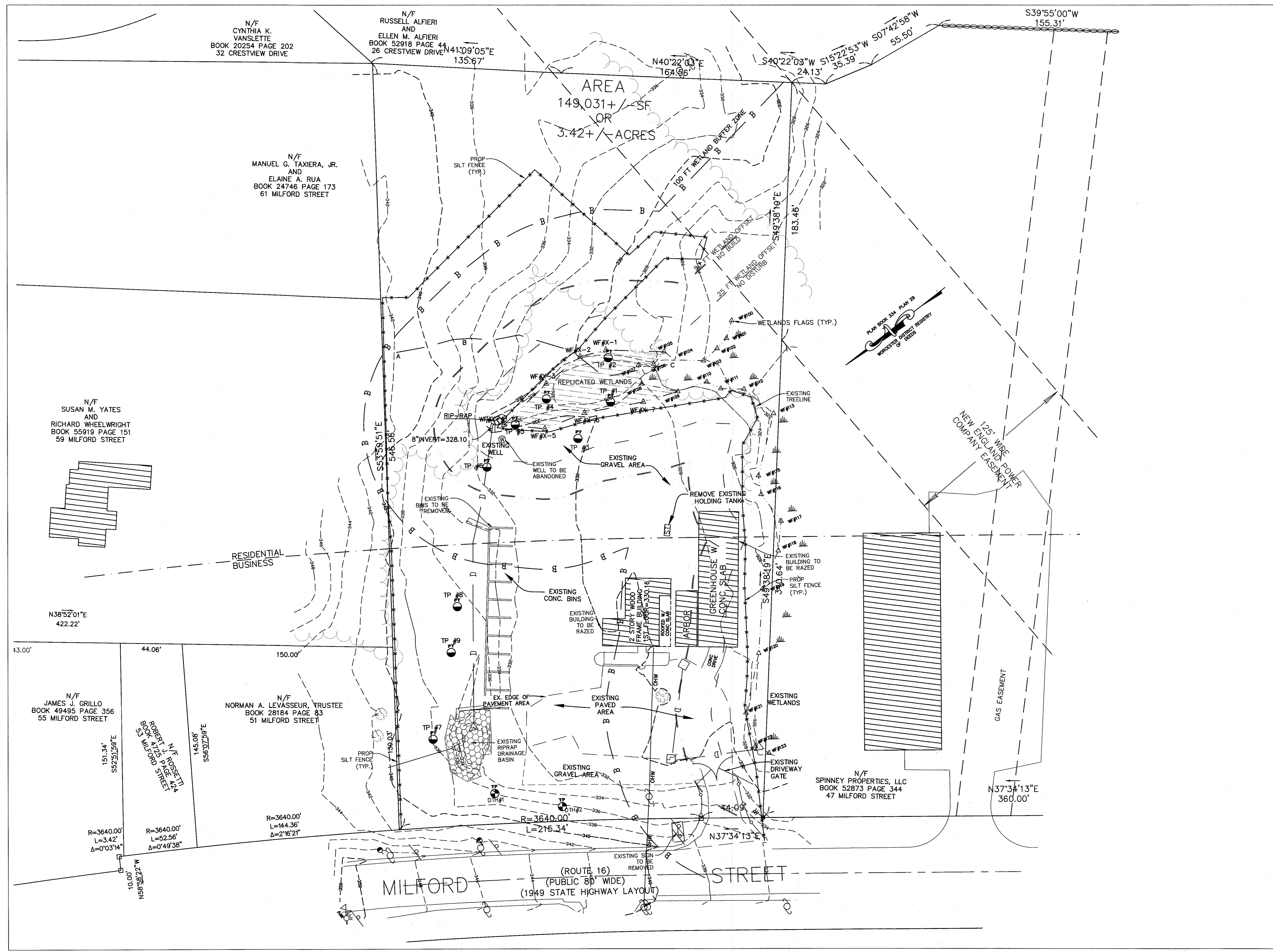
REV.	DATE	DESCRIPTION	INTY
2	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/2019	WETLAND REPLICATION, 25' AND 50' OFFSETS	DMK

49 MILFORD STREET  
PROPOSED ADULT ENTERTAINMENT SITE

OWNER/APPLICANT  
GEORGE FUNARI  
49 MILFORD STREET  
MENDON, MA 01756  
508-653-0139

EXISTING CONDITION PLAN OF LAND IN MENDON, MA  
SCALE: 1"=30'  
DATE: OCTOBER 30, 2008

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N/F CYNTHIA K. VANSLETTE  
BOOK 20254 PAGE 202  
32 CRESTVIEW DRIVE

N/F RUSSELL ALFIERI AND ELLEN M. ALFIERI  
BOOK 52918 PAGE 44  
26 CRESTVIEW DRIVE

N/F MANUEL G. TAXIERA, JR. AND ELAINE A. RUA  
BOOK 24746 PAGE 173  
61 MILFORD STREET

N/F SUSAN M. YATES AND RICHARD WHEELWRIGHT  
BOOK 55919 PAGE 151  
59 MILFORD STREET

N38°52'01"E  
422.22'

N/F JAMES J. GRILLO  
BOOK 49495 PAGE 356  
55 MILFORD STREET

N/F ROBERT J. BOSSETTI  
BOOK 1725 PAGE 424  
53 MILFORD STREET

N/F NORMAN A. LEVASSEUR, TRUSTEE  
BOOK 28184 PAGE 83  
51 MILFORD STREET

N/F SPINNEY PROPERTIES, LLC  
BOOK 52873 PAGE 344  
47 MILFORD STREET

R=3640.00'  
L=3.42'  
Δ=0°03'14"

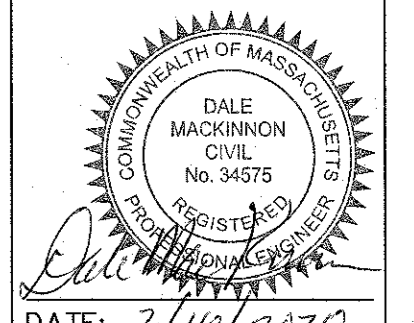
R=3640.00'  
L=52.56'  
Δ=0°49'38"

R=3640.00'  
L=144.36'  
Δ=2°16'21"

R=3640.00'  
L=215.34'  
Δ=3°34'13"

MILFORD STREET  
(ROUTE 16)  
(PUBLIC 80' WIDE)  
(1949 STATE HIGHWAY LAYOUT)





DATE: 3/10/2020

NOTES:  
 1. PARCEL REFERENCE IN THE MENDON TOWN ASSESSOR MAP 9 LOTS 49.  
 2. PARCEL IS WITHIN THE ADULT ENTERTAINMENT OVERLAY DISTRICT FOR TOWN OF MENDON.  
 3. ELEVATIONS REFER TO 1929 NGVD DATUM.  
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NOTES

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- CATCH BASIN
- ⊕ HYDRANT
- ⊕ WATER GATE
- 000 — CONTOUR
- — — PROPOSED FENCE
- △ INVERT
- HEADWALL
- UTILITY POLE
- GUYWIRE
- WELL
- IRON PIN (f)
- STONE BOUND (f)
- DRILLHOLE (f)
- STONEMAN
- GUARDRAIL

REV.	DATE	DESCRIPTION	INT
6	03/16/2020	REVISIONS TO ADDRESS PLANNING BOARD COMMENTS	DMK
5	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
4	12/20/19	REVISED BUILDING, PARKING & WETLANDS.	DMK
3	2/1/10	REVISED BUILDING & PARKING.	FML
2	2/13/08	REVISED ADDITIONAL PARKING.	FML
1	2/9/08	ADDED ADDITIONAL PARKING.	FML

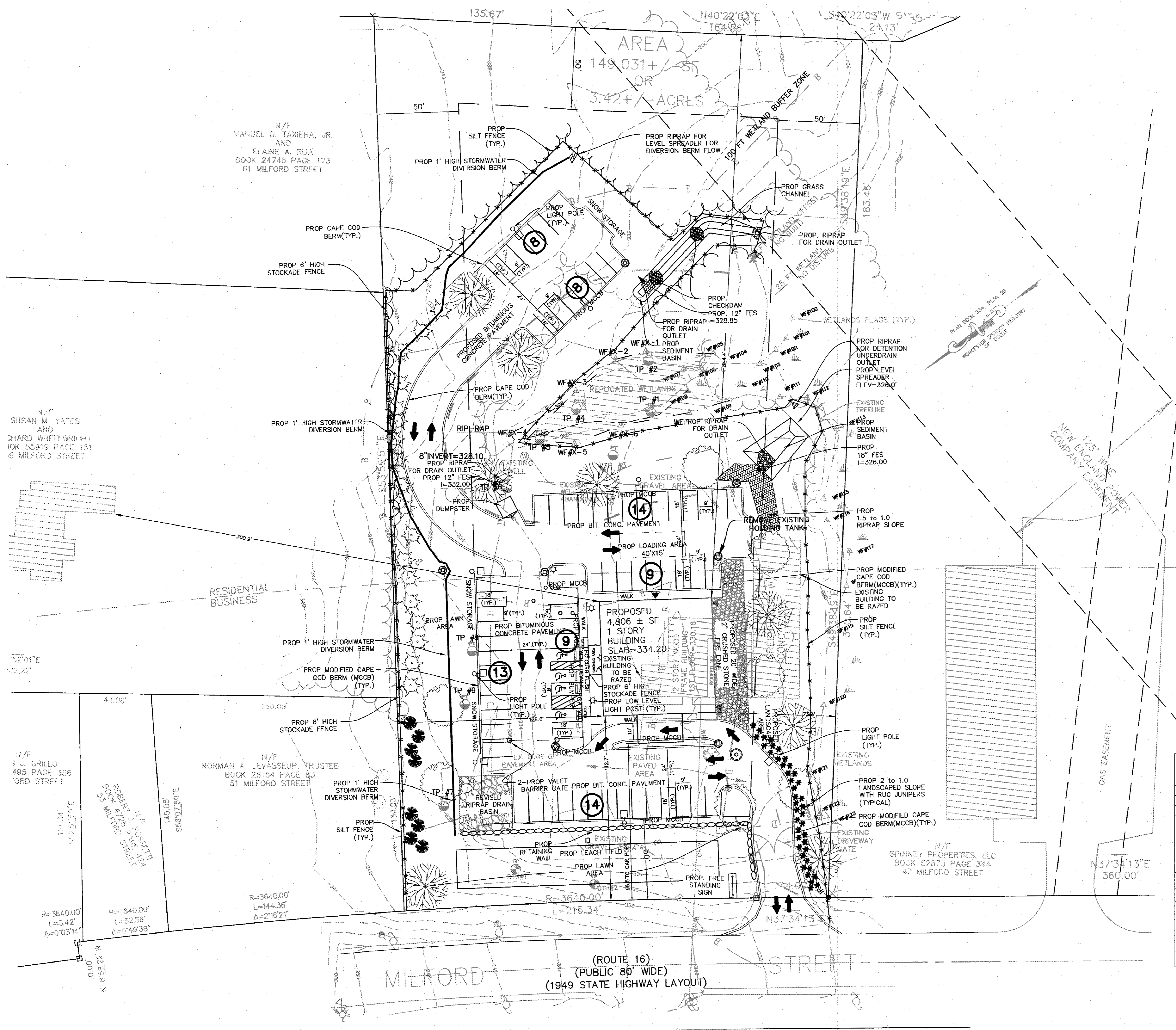
49 MILFORD STREET  
 PROPOSED ADULT ENTERTAINMENT SITE

OWNER/APPLICANT  
 GEORGE FUNARI  
 49 MILFORD STREET  
 MENDON, MA 01757  
 508-653-0139

SITE PLAN  
 OF LAND  
 IN  
 MENDON, MA

SCALE: 1"=30'  
 DATE: OCTOBER 30, 2008

**Guerriere & Halnon, Inc.**  
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 333 WEST STREET, MILFORD, MASS. 01757  
 (508) 473-8630 FAX: (508) 473-8243



ZONING  
 ADULT ENTERTAINMENT OVERLAY DISTRICT

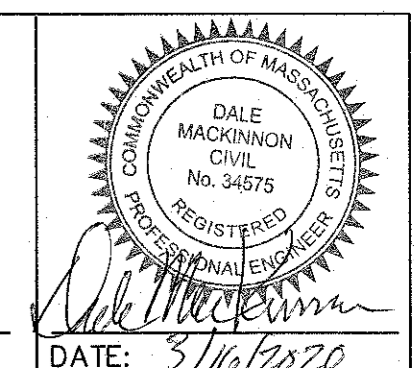
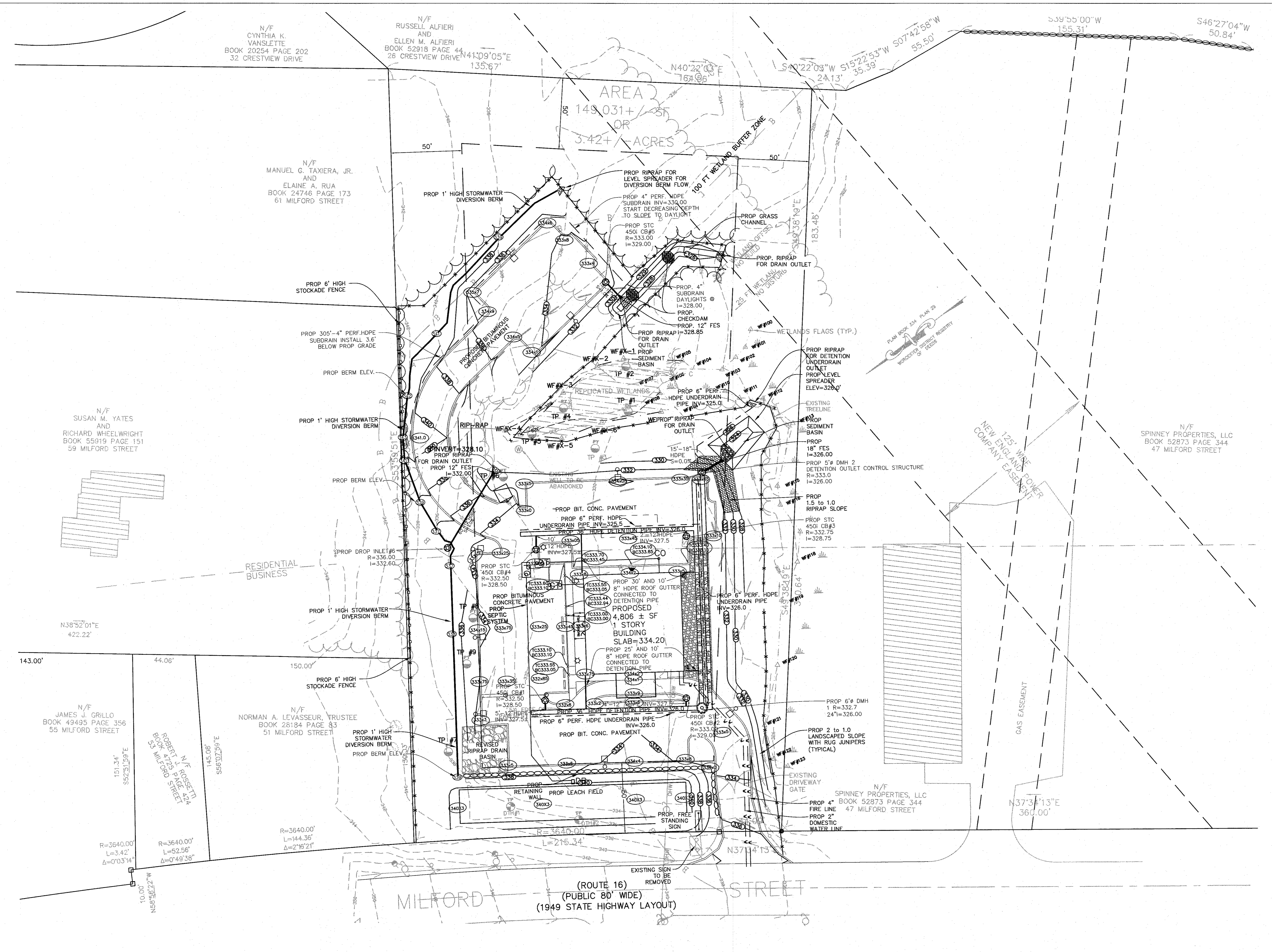
INTENSITY OF USE	REQ'D. BUS.	PROPOSED
MIN. LOT REQUIREMENTS		
LOT AREA (SF)	40,000 S.F.	136,701 S.F. (UPLAND) 12,330 S.F. (WETLANDS)
LOT WIDTH (FT)	200'	265'
FRONTAGE (FT)	200'	259'
MIN. YARD REQUIREMENTS		
FRONT YARD SETBACK (FT)	100' *	113±'
SIDE YARD SETBACK (FT)	20'	73'
REAR YARD SETBACK (FT)	20'	344'
MINIMUM LOT DEPTH	200'	523±'
BLDG. COVERAGE	30%	3.2%

PARKING REQUIREMENTS:  
 RESTAURANT:  
 1 SPACE/5 EMPLOYEES: 24 EMPLOYEES/5=5 SPACES REQUIRED  
 THEATERS & PLACE OF ASSEMBLY:  
 1 SPACE/5 SEATS: 165 SEATS/5 SEATS=33 SPACES REQUIRED  
 PROPOSED PROJECT REQUIRES 40 SPACES  
 PROPOSED PROJECT PROPOSES 75 SPACES

\* 5.01(f)(ii) ADULT ENTERTAINMENT OVERLAY DISTRICT

SIGN BY-LAW: SIGN BY-LAW ALLOWS ONE FREE STANDING SIGN LOCATED OUTSIDE THE MILFORD STREET ROW NOT EXCEEDING 50 SF AND 20 FEET IN HEIGHT FROM THE GROUND. ALSO A BUILDING SIGN NOT EXCEEDING 68 SF AREA IS ALLOWED. EXTERNAL ILLUMINATED SIGNS MEETING THE REQUIREMENTS OUTLINE IN THE SIGN BY-LAW ARE PERMITTED FOR THIS SITE. ANY INTERNALLY ILLUMINATED SIGN MUST BE PERMITTED BY THE BUILDING INSPECTOR. THE LIGHT FROM ANY SIGN SHALL NOT ADVERSELY AFFECT NEIGHBORING PREMISES NOR IMPAIR THE SAFE VISION OF VEHICLES ON MILFORD STREET.





DATE: 3/10/2020

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- CATCH BASIN
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- ⊕ WATER GATE
- CONTOUR
- PROPOSED FENCE
- △ INVERT
- HEADWALL
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- STONEMASS
- GUARDRAIL

REV.	DATE	DESCRIPTION	INT
3	03/16/2020	REVISIONS TO ADDRESS PUBLIC HEARING	DMK
2	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/19	REVISED GRADING DRAINAGE AND UTILITIES	DMK

**49 MILFORD STREET  
 PROPOSED ADULT  
 ENTERTAINMENT SITE**

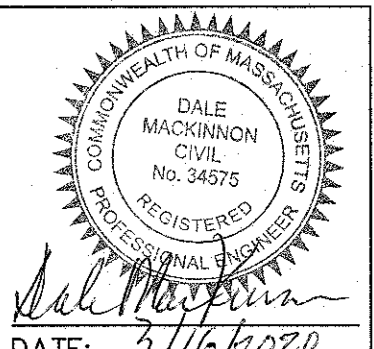
OWNER/APPLICANT  
 GEORGE FUNARI  
 49 MILFORD STREET  
 MENDON, MA 01756  
 508-653-0139

GRADING & UTILITIES PLAN  
 OF LAND  
 IN  
**MENDON, MA**

SCALE: 1"=30'  
 DATE: OCTOBER 30, 2008

**Guerriere & Halnon, Inc.**  
 Engineering & Land Surveying  
 333 WEST STREET, MILFORD, MASS. 01757  
 (508) 473-6630 FAX: (508) 473-8243





DATE: 3/16/2020

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- GUARDRAIL — GUARDRAIL

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2	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/19	REVISED BUILDING, PARKING & WETLANDS	DMK

**49 MILFORD STREET  
PROPOSED ADULT  
ENTERTAINMENT SITE**

OWNER/APPLICANT  
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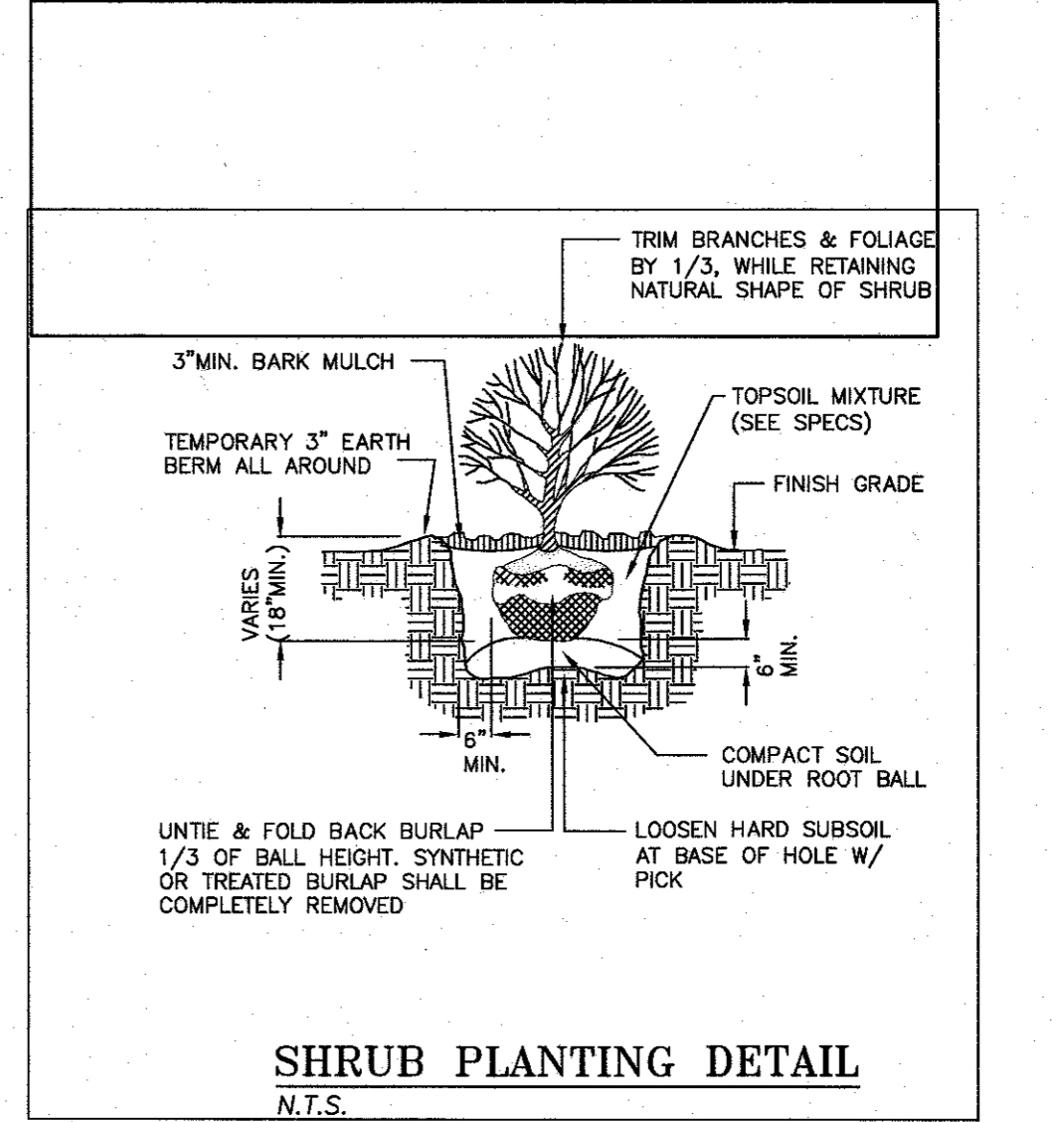
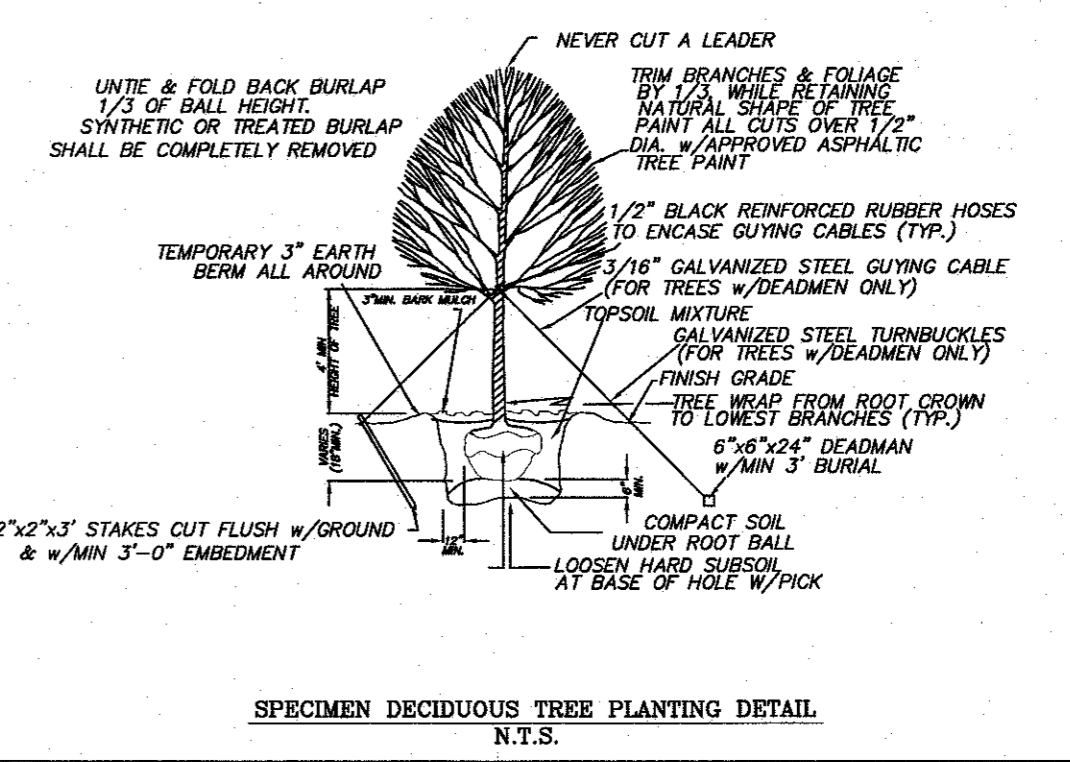
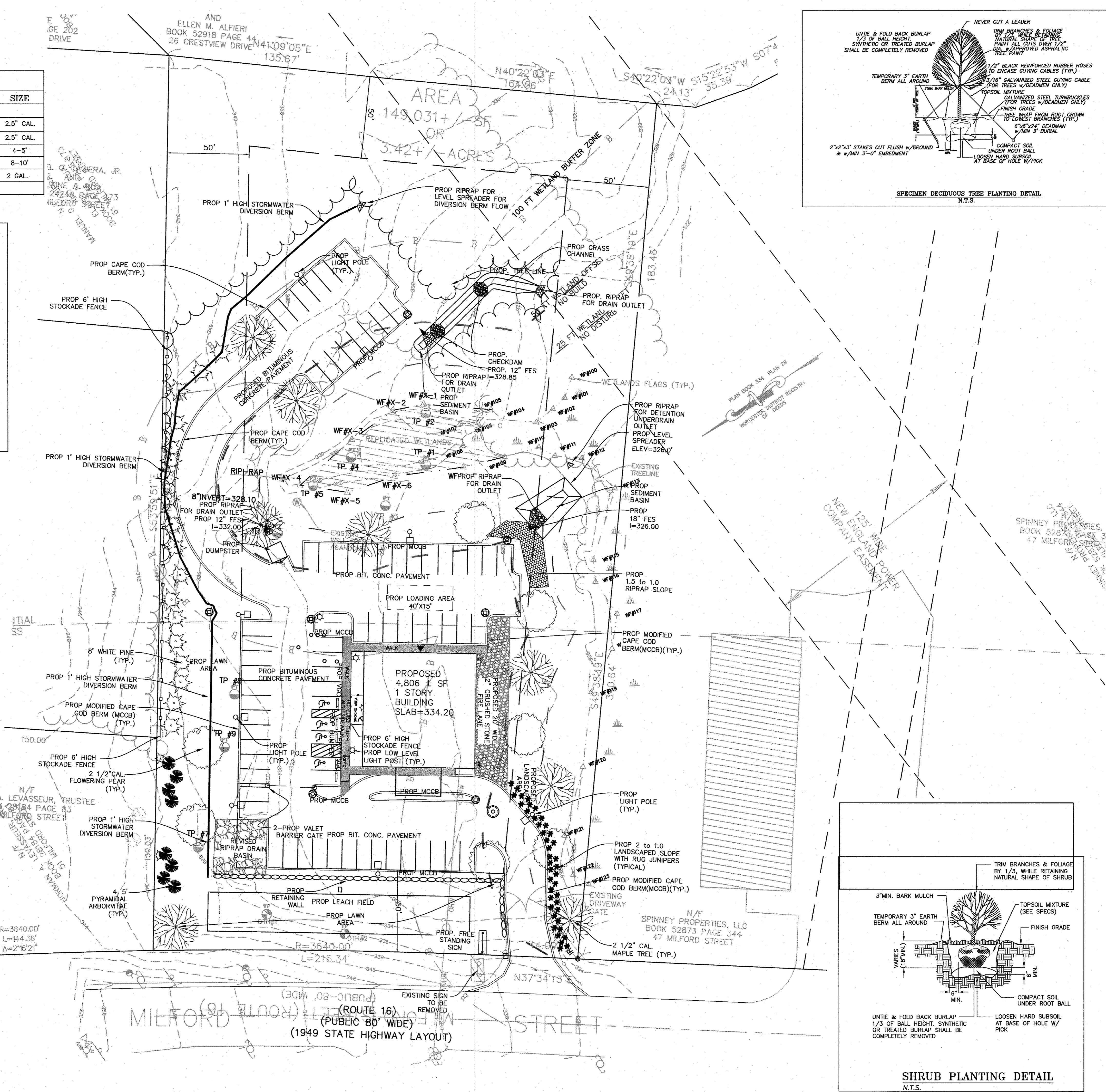
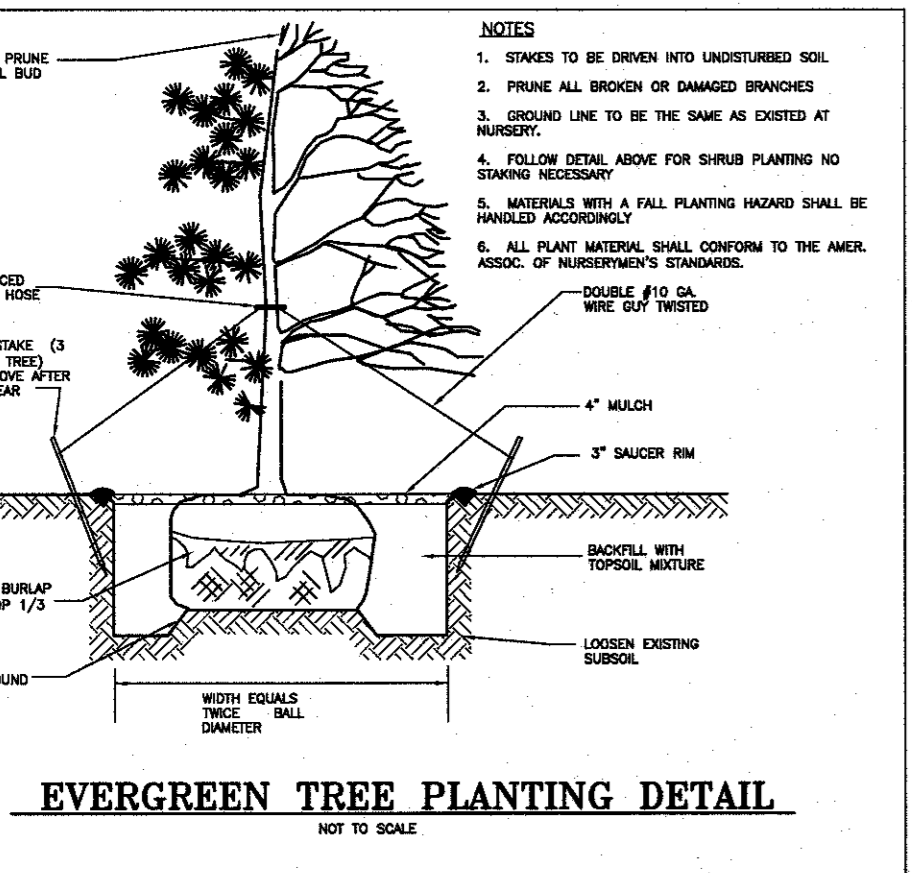
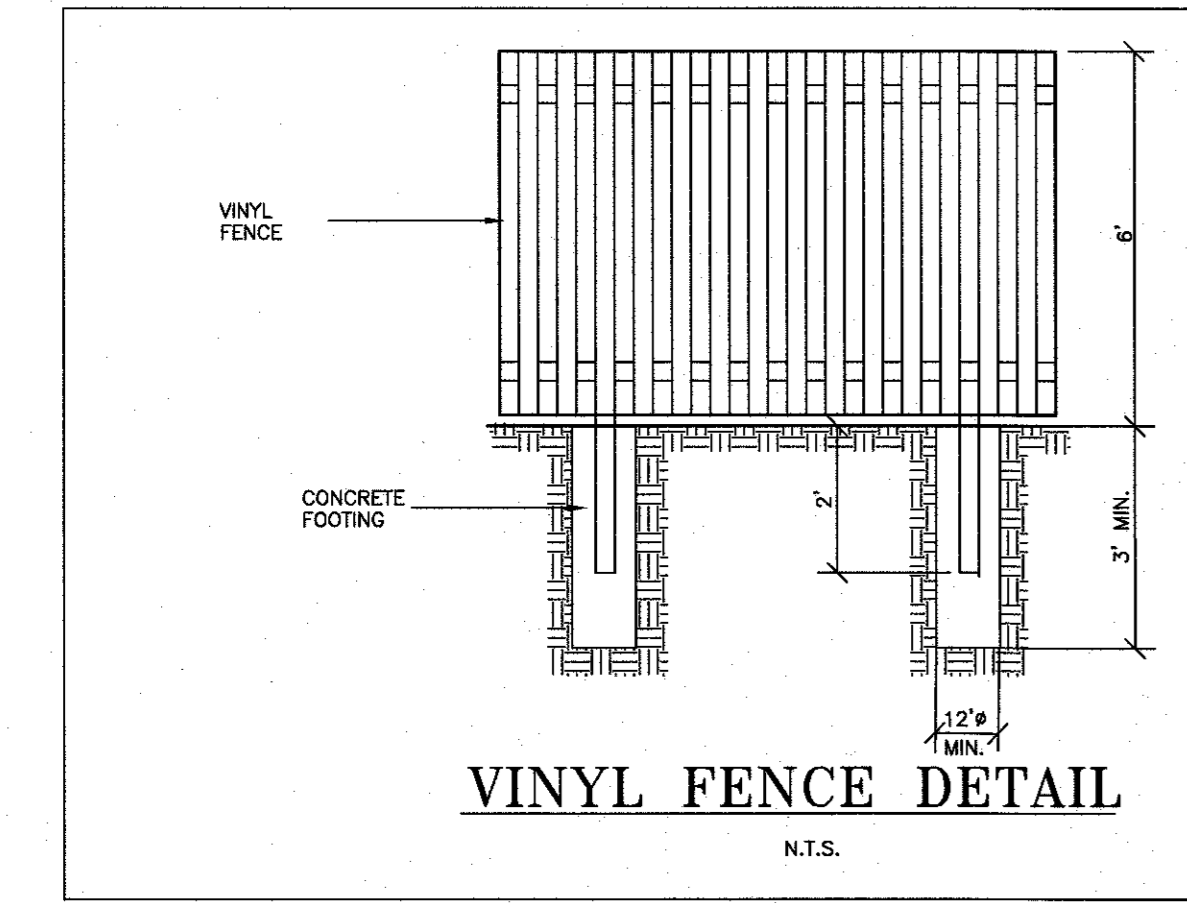
LANDSCAPE PLAN  
OF LAND  
IN  
**MENDON, MA**  
SCALE: 1"=30'  
DATE: OCTOBER 30, 2008

**Guerriere & Halnon, Inc.**  
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333 WEST STREET, MILFORD, MASS. 01757  
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**PLANT SCHEDULE**

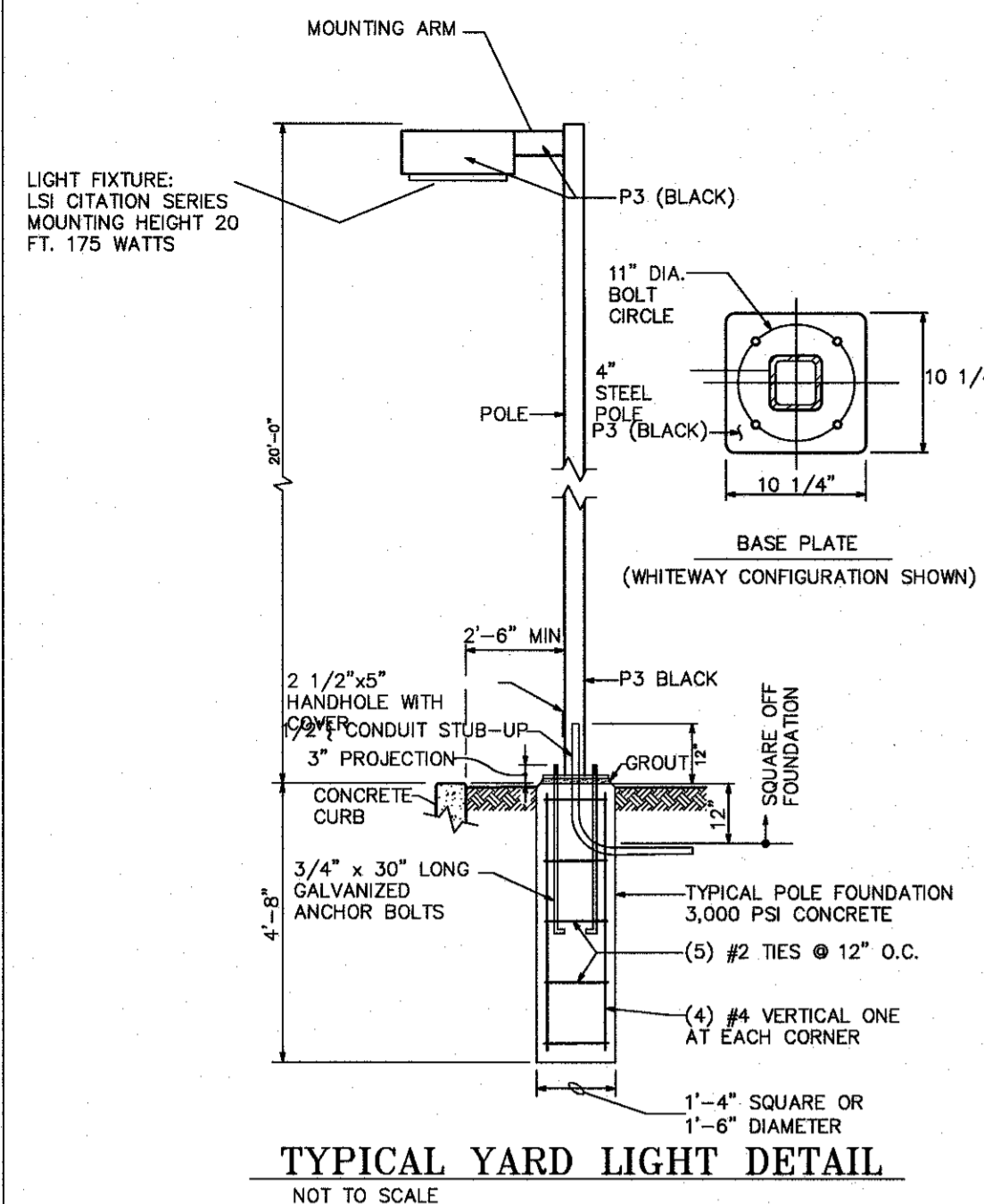
QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
8	RED MAPLE	ACER RUBRUM	2.5" CAL.
6	FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2.5" CAL.
8	PYRAMIDAL ARBOVITAE	THUJA OCCIDENTALIS	4-5'
18	EASTERN WHITE PINE	PINUS STROBUS	8-10'
41	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS	2 GAL.

LOAM & SEED/MULCH

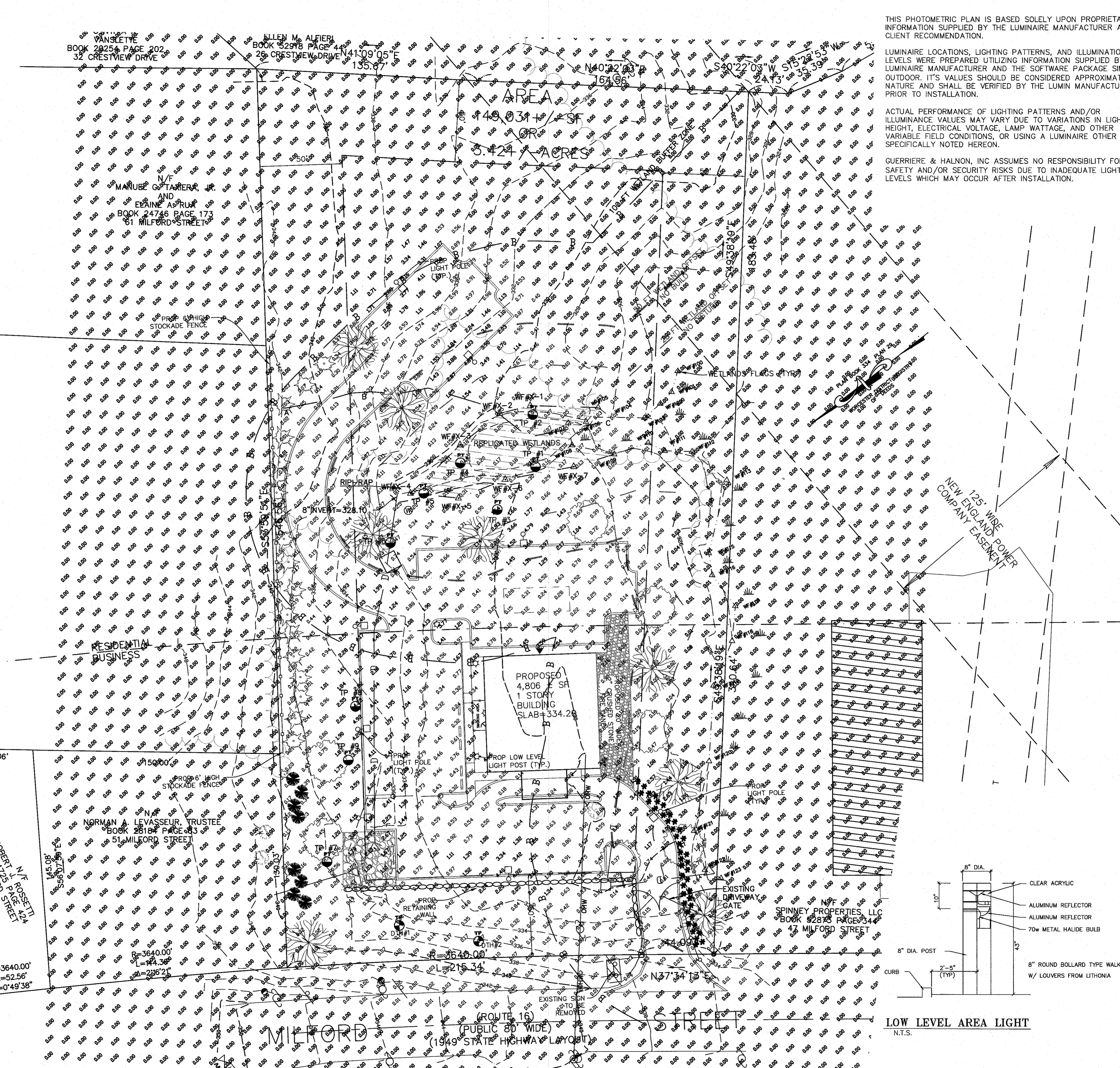


G:\CS\DMilford\G-8488\DWG\8488 SITE PLAN 03162020.dwg





TYPICAL YARD LIGHT DETAIL  
NOT TO SCALE

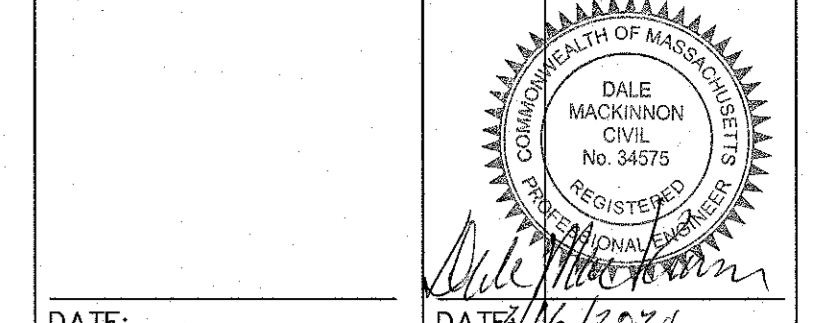


THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMINAIRE MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINATION VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.



DATE: 10/30/2008

NOTES:  
 1. PARCEL REFERENCE IN THE MENDON TOWN ASSESSOR MAP 9 LOTS 49.  
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LEGEND

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- ⊗ HYDRANT
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6	03/16/2020	REVISIONS TO ADDRESS PUBLIC HEARING	DMK
5	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
4	12/20/19	REV. LIGHTING, BUILDING, PARKING & WETLANDS	DMK
3	2/1/10	REVISED BUILDING & PARKING	PMI
2	2/13/08	REVISED ADDITIONAL PARKING	PMI
1	2/9/08	ADDED ADDITIONAL PARKING	PMI

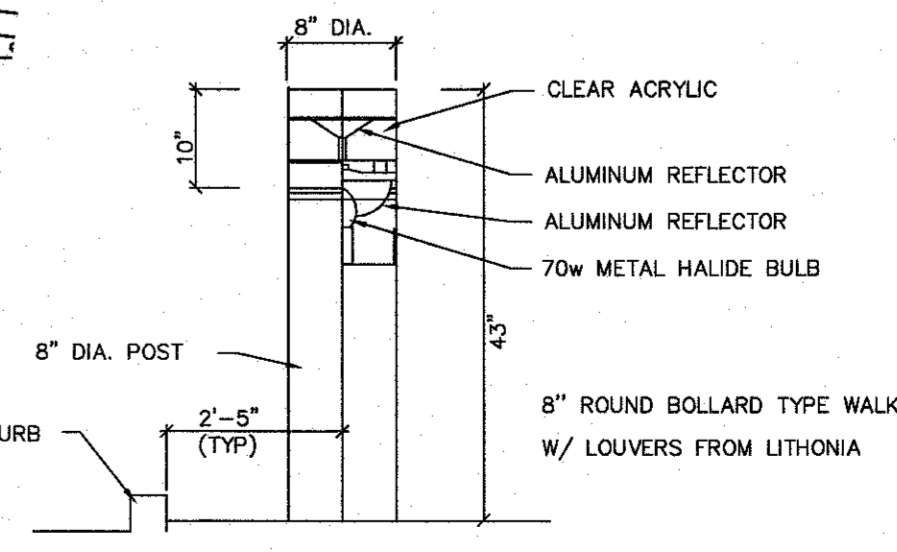
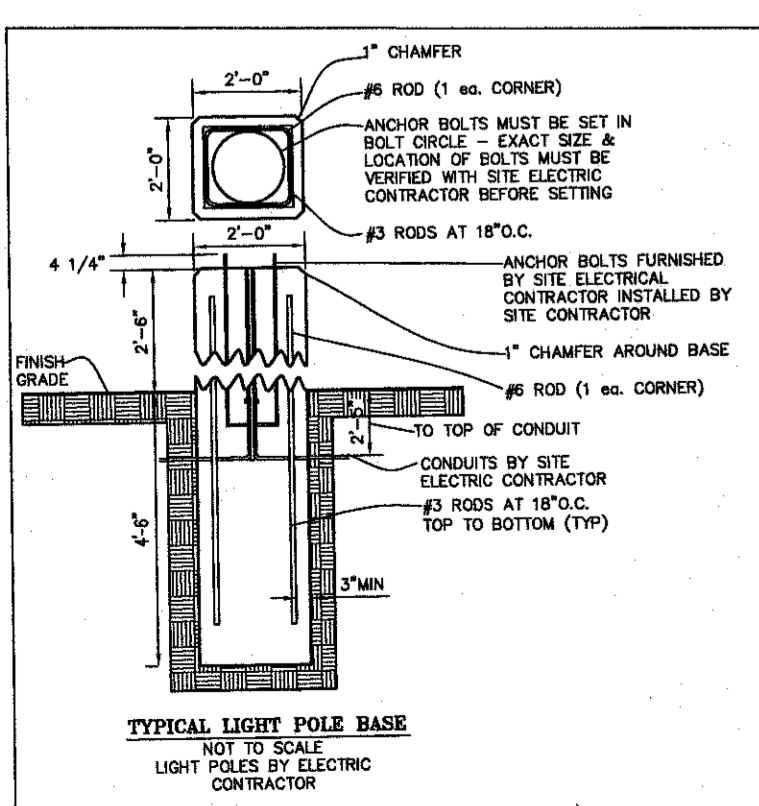
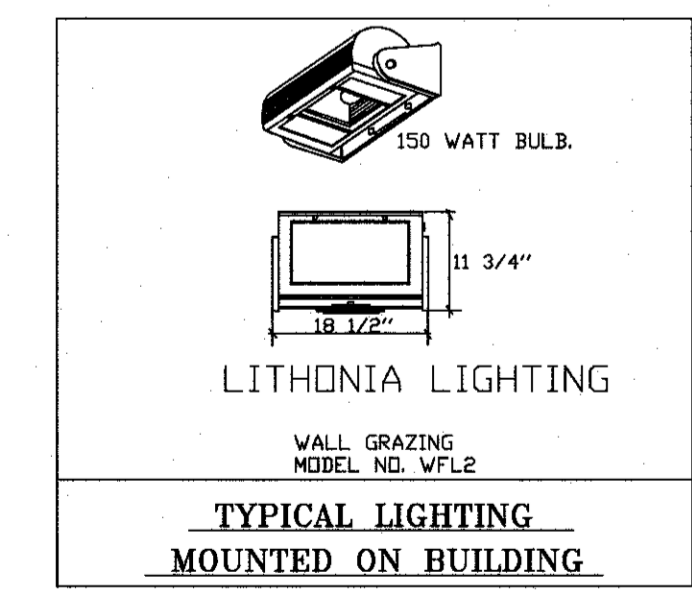
49 MILFORD STREET  
 PROPOSED ADULT  
 ENTERTAINMENT SITE

OWNER/APPLICANT  
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 49 MILFORD STREET  
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PHOTOMETRIC PLAN  
 OF LAND  
 IN  
 MENDON, MA

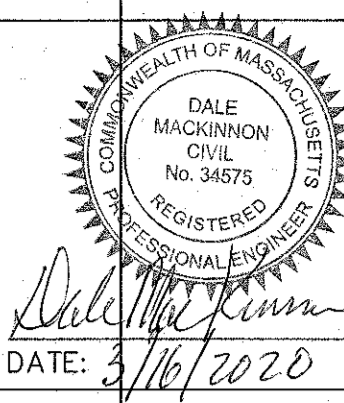
SCALE: 1"=30'  
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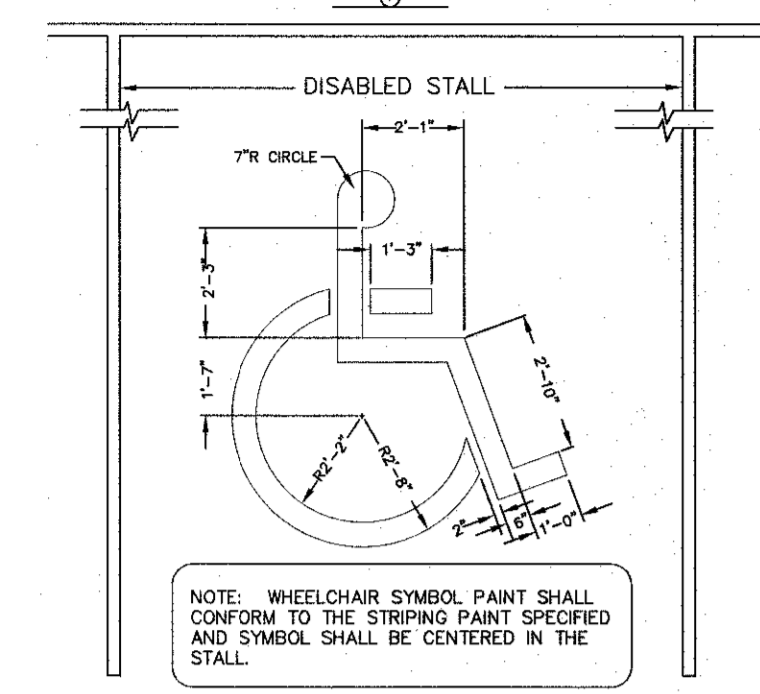
LOW LEVEL AREA LIGHT  
N.T.S.



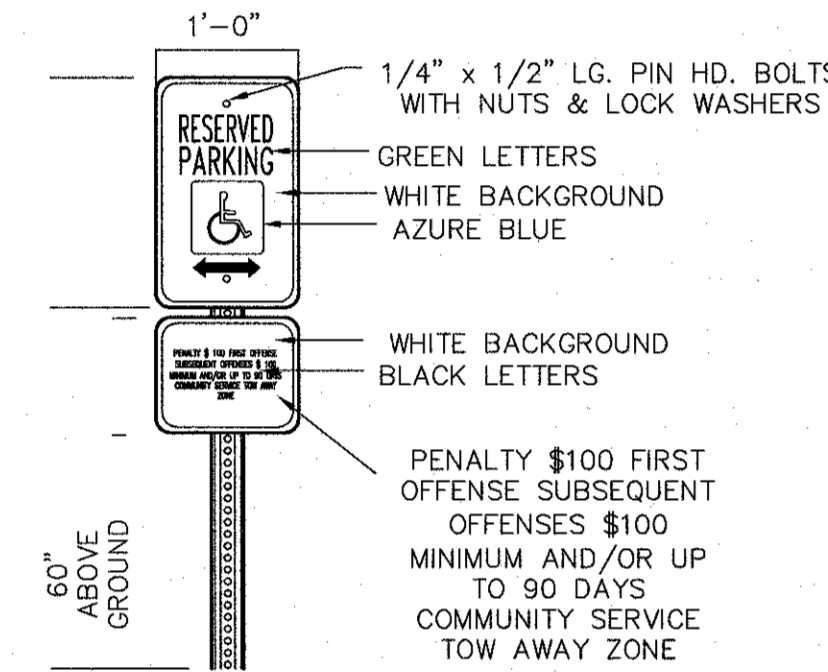


DATE: 3/16/2020

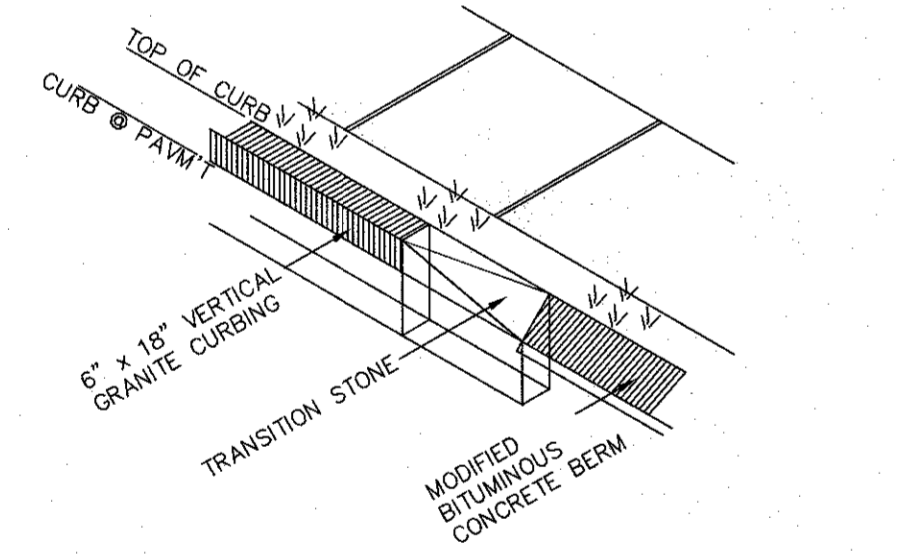
**DISABLED PARKING SIGN**  
 1.) 12"x18", 5' TO BOTTOM OF SYMBOL LOCATED SO THAT IT CANNOT BE OBTURED BY A CAR PARKED IN THE SPACE (2' BEHIND CURB OR 2' BEHIND WALK, AS APPLICABLE)  
 2.) CONFORM TO LOCAL CODES.



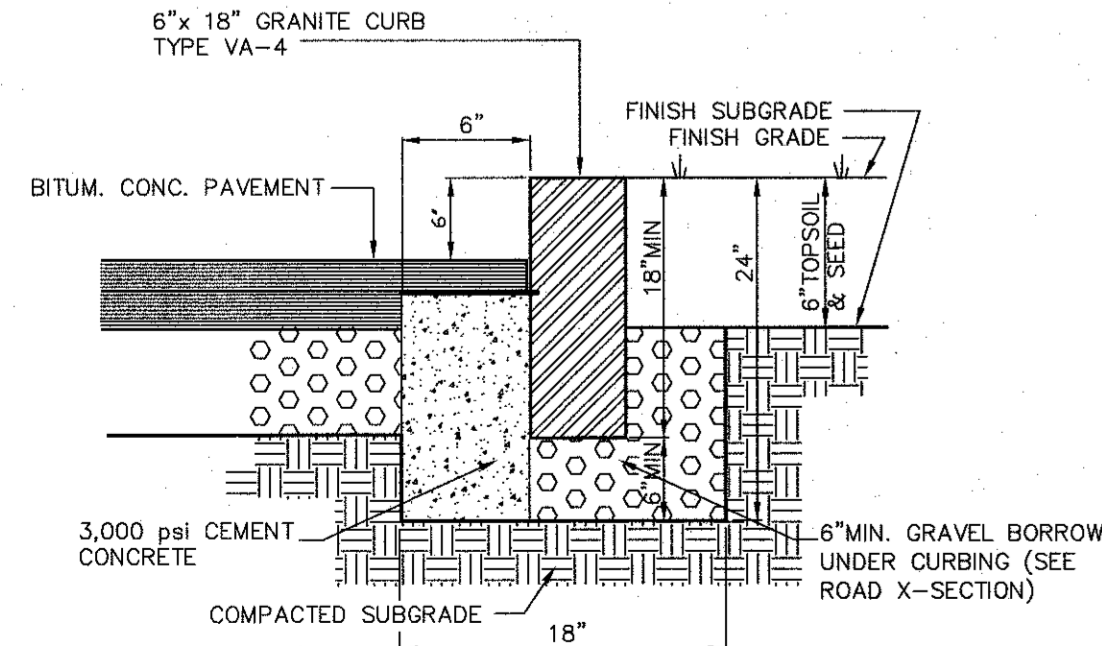
**HANDICAP PARKING SPACE PAINTING DETAIL**  
NOT TO SCALE



**HANDICAP PARKING SIGN DETAIL**  
NOT TO SCALE

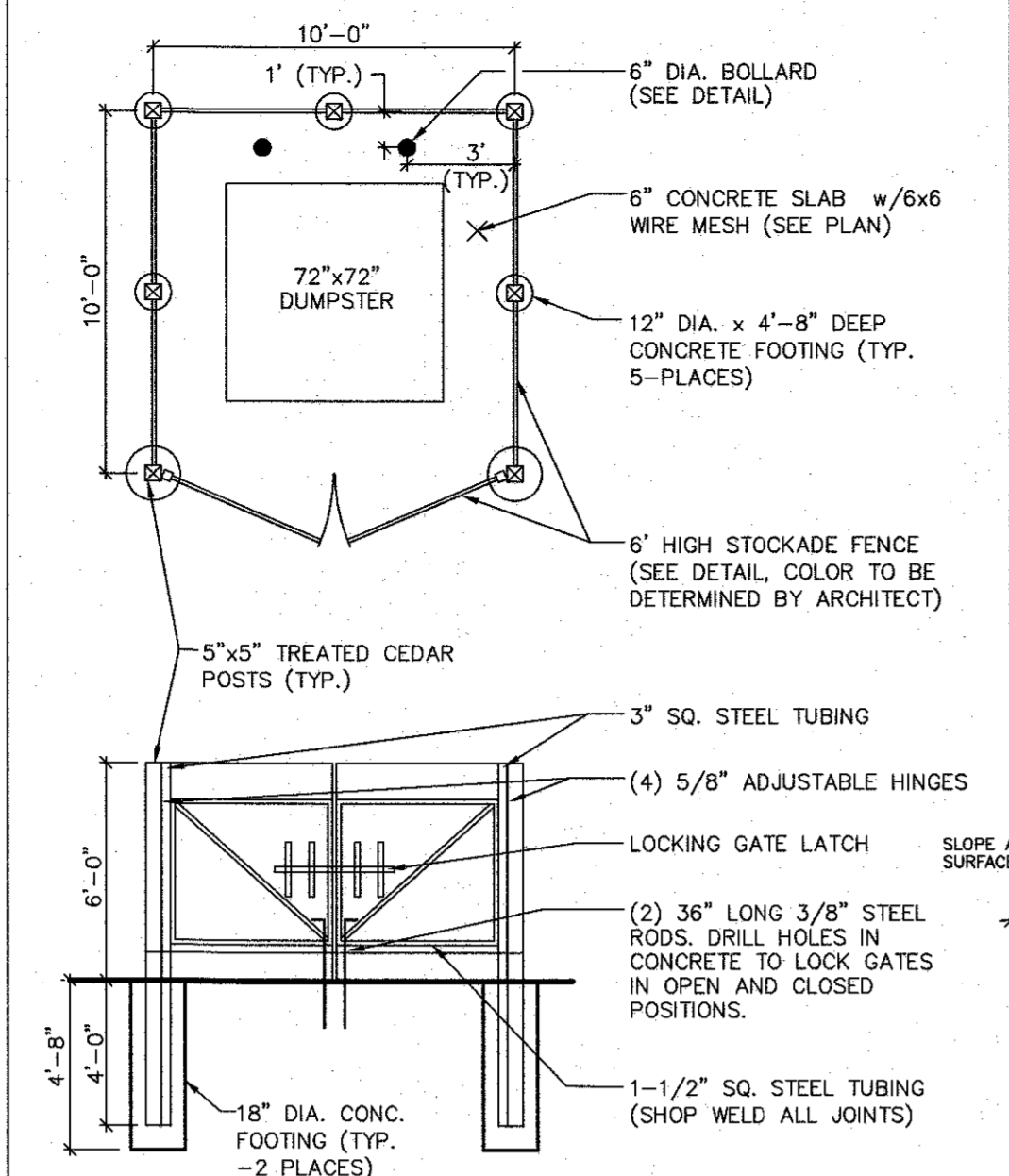


**CURB TRANSITION DETAIL**  
NOT TO SCALE

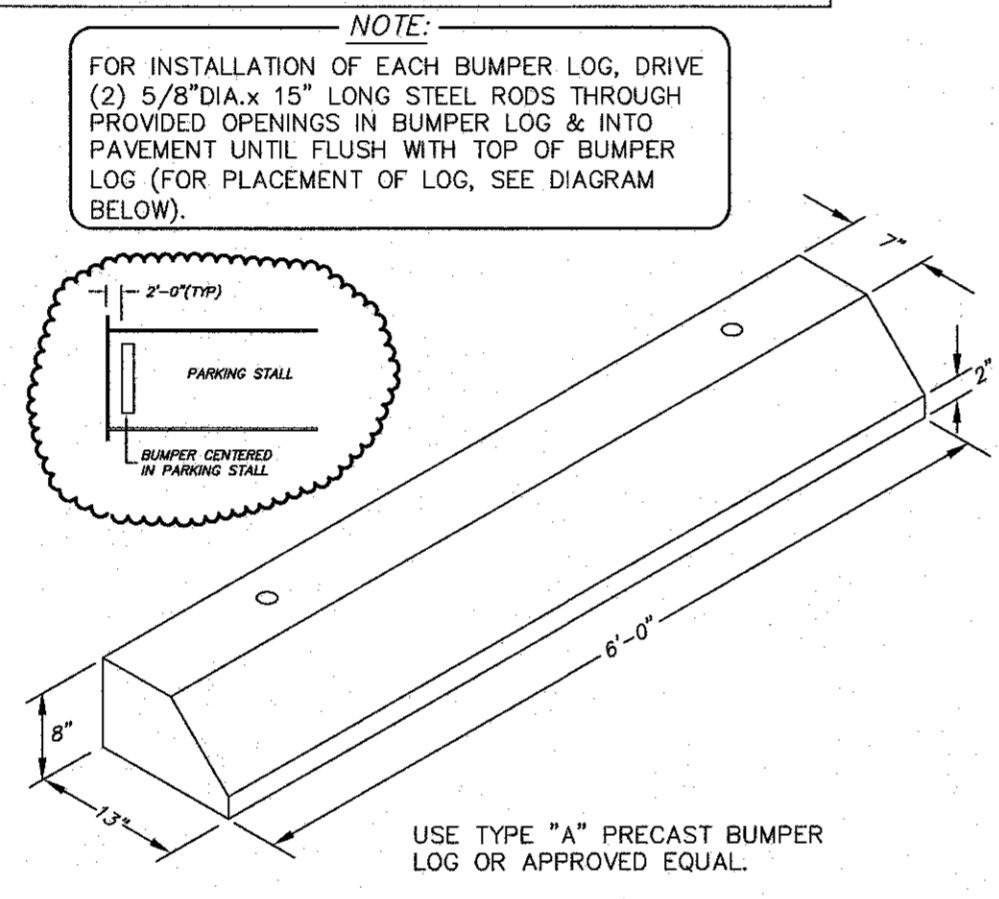


NOTES:  
 1. SEE MASS HIGHWAY DEPARTMENT STANDARD DETAIL 106.30.  
 2. SEE MASS HIGHWAY DEPARTMENT STANDARD SPECIFICATION SECTION 500 & 501.

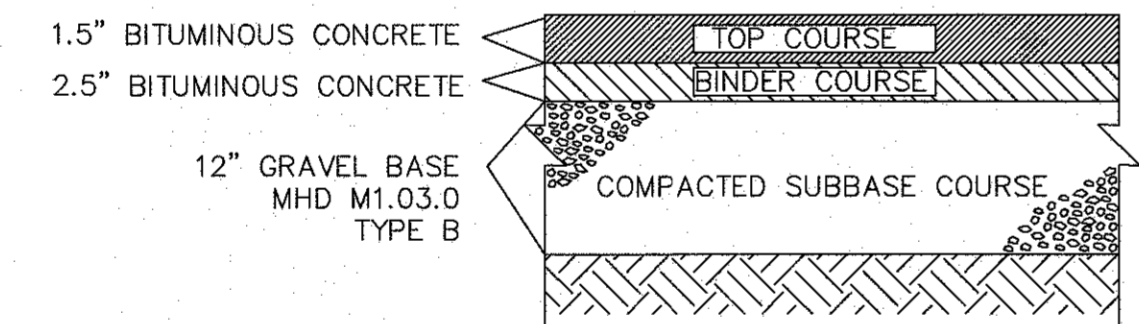
**TYP. VERTICAL GRANITE CURB**  
NOT TO SCALE



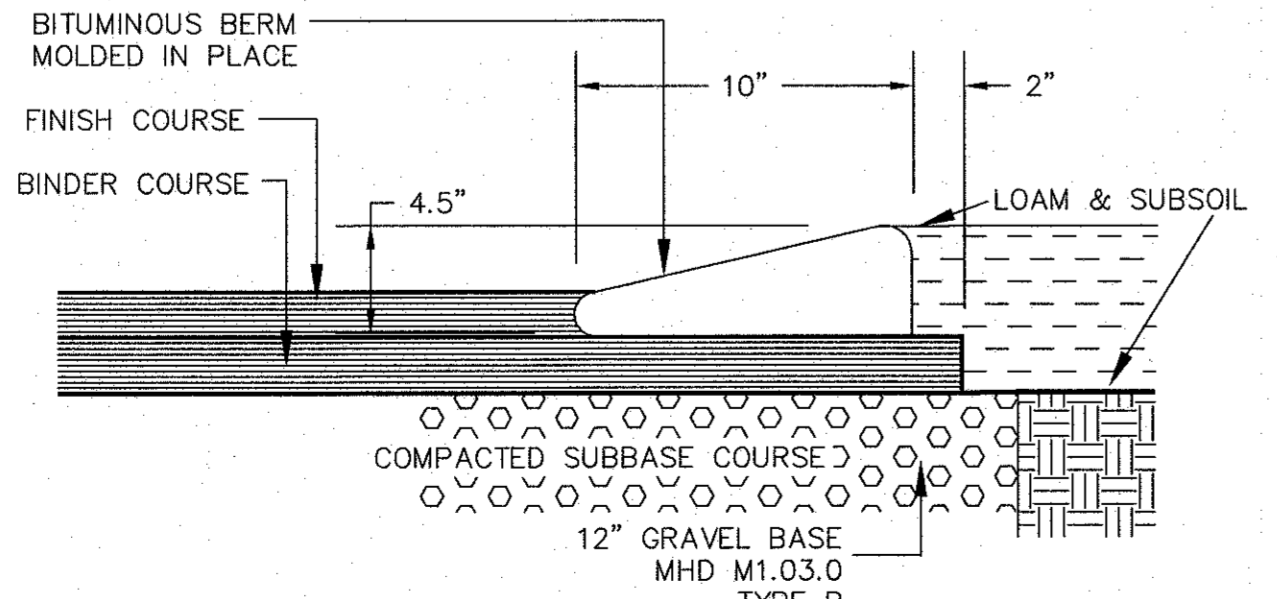
**TRASH ENCLOSURE**  
SCALE: NOT TO SCALE



**PRECAST CONCRETE BUMPER LOG DETAIL**  
N.T.S.

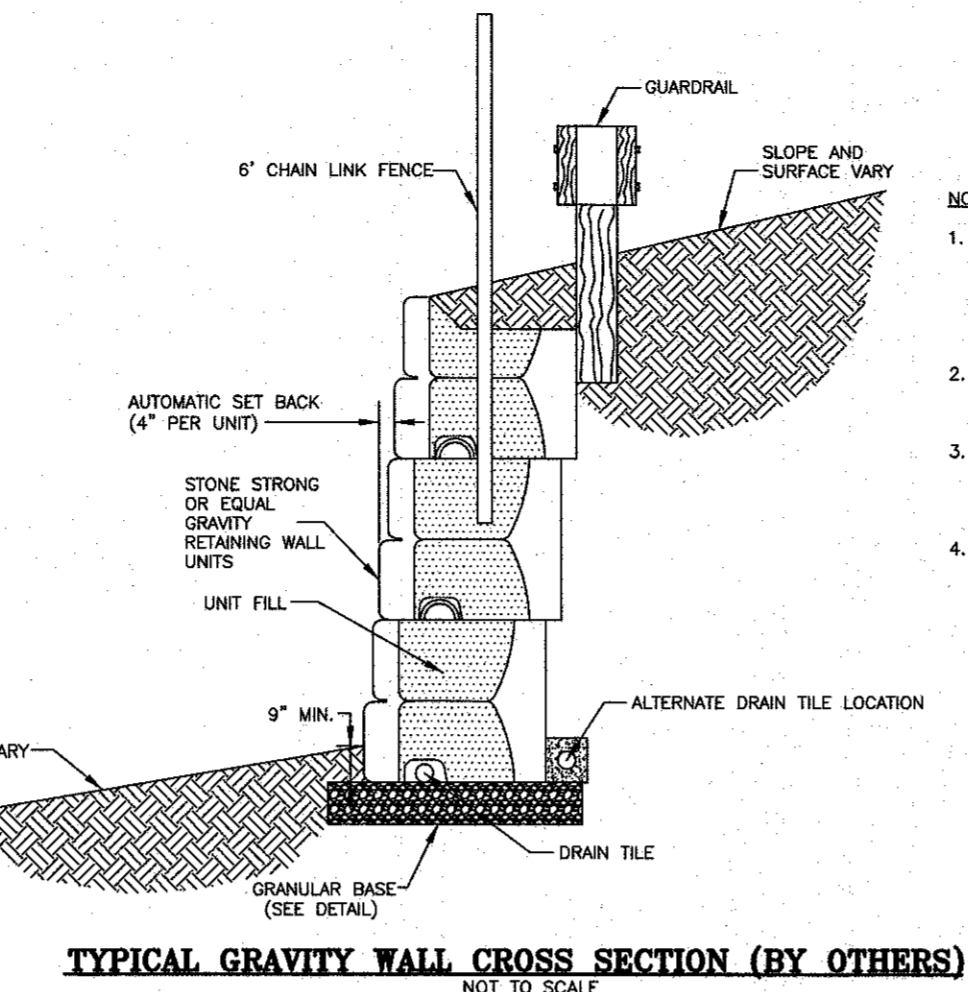


**BITUMINOUS PAVEMENT DETAIL**  
NOT TO SCALE

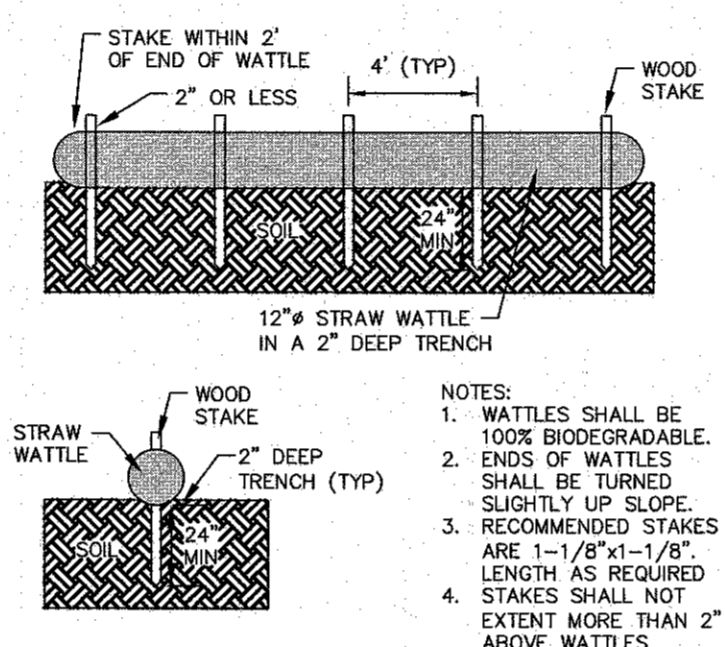


NOTES:  
 1. BERMS TO BE MACHINE MOLDED IN PLACE, SEPARATE AND PRIOR TO THE PLACEMENT OF FINISHED COURSE OF PAVEMENT.

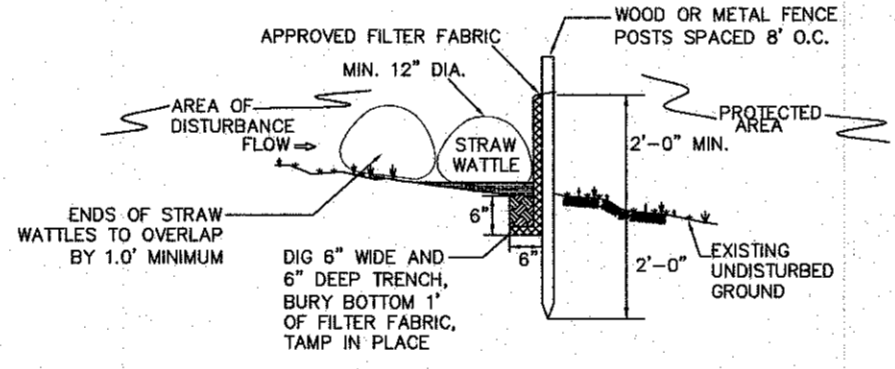
**BITUMINOUS CONCRETE BERM (MODIFIED CAPE COD BERM)**  
NOT TO SCALE



**TYPICAL GRAVITY WALL CROSS SECTION (BY OTHERS)**  
NOT TO SCALE



**STRAW WATTLE EROSION CONTROL BARRIER**  
NOT TO SCALE

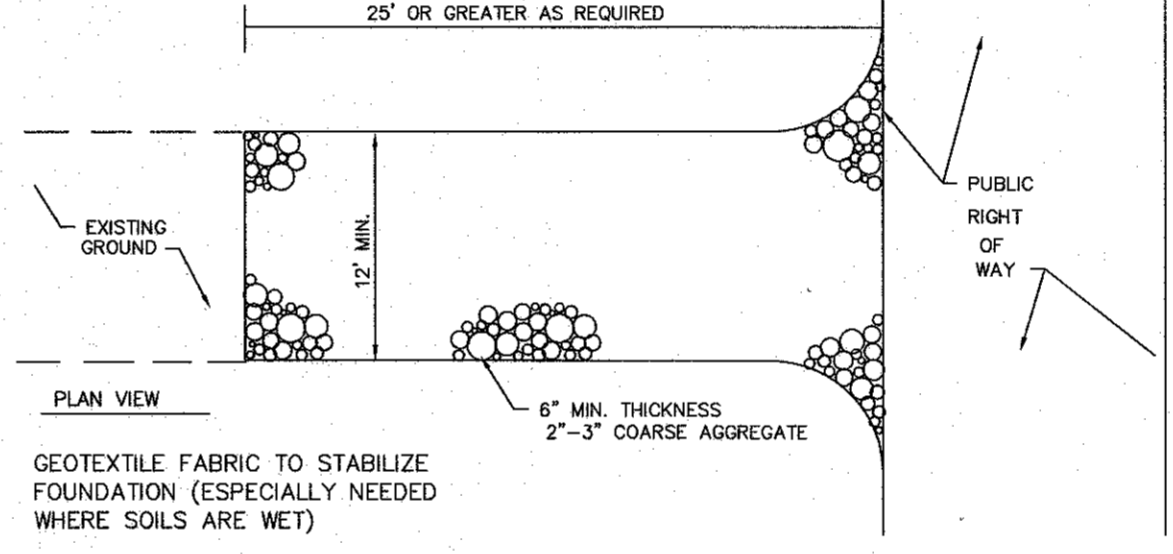
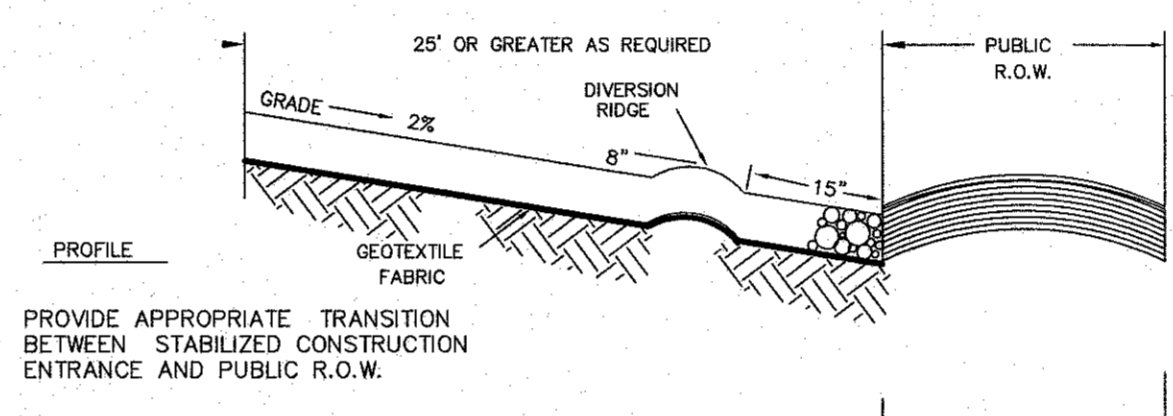


NOTES:  
 1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.  
 2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.  
 3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.  
 4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

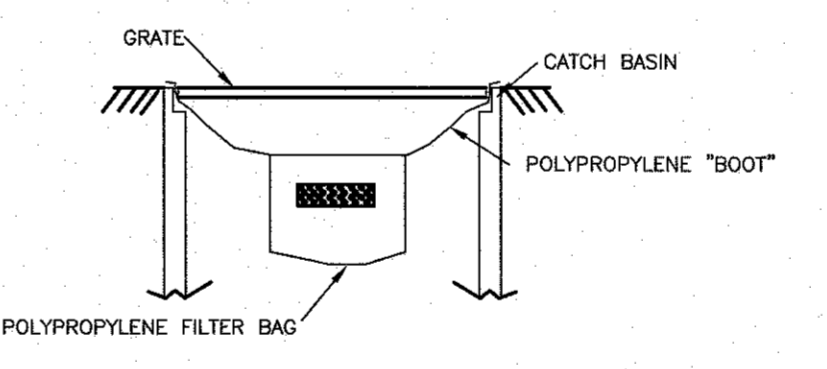
**SILTATION AND EROSION CONTROL BARRIER**  
NOT TO SCALE

**Interim Erosion Control and Construction Sequence**

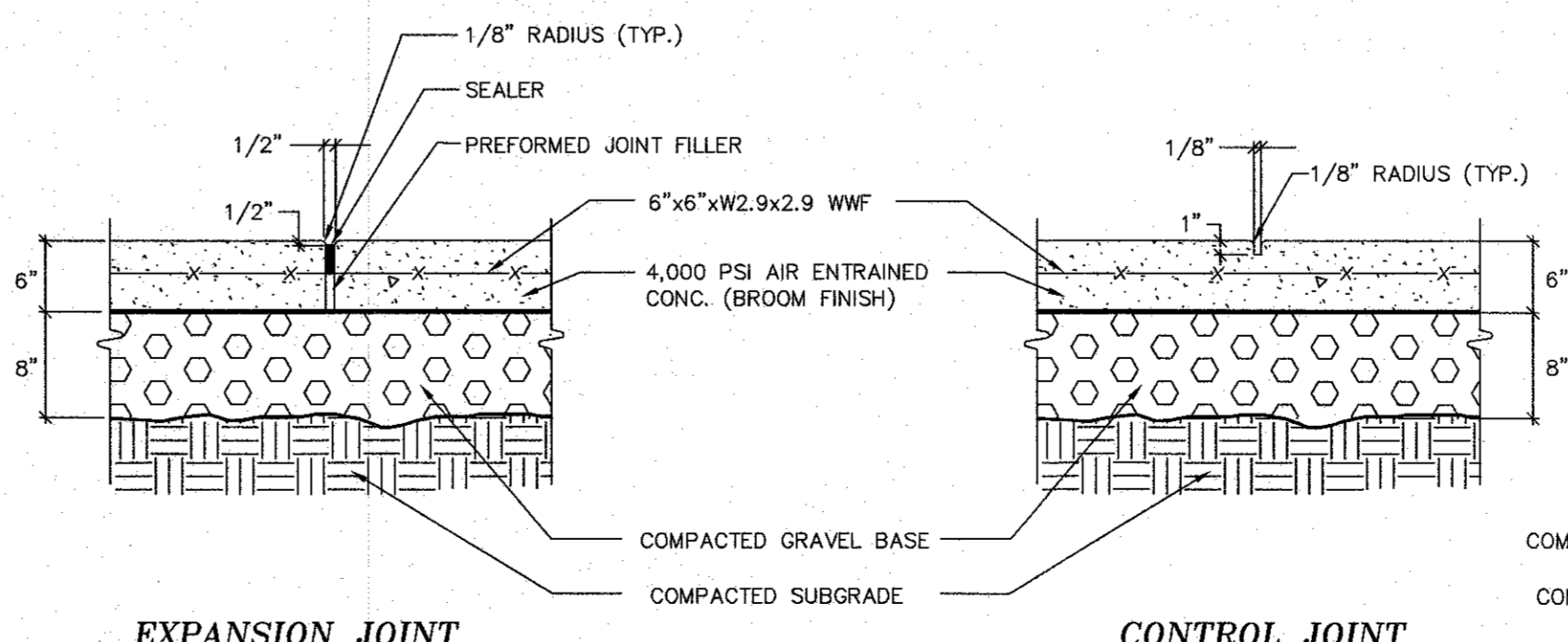
1. Install erosion control barriers
2. Clear site of all trees designated to be removed
3. Construct site berm around limits of temporary basins site to maintain stormwater runoff on site.
4. Stockpile loam, or remove loam.
5. Construct drainage system.
6. The outlet devices will be plugged and no water will be allowed to leave the site. If water buildup is excessive, install filter fabric and 1" - 1 1/2" washed stone (as filter) at the outlet to allow temporary retention/detention sediment pond to drain. The drainage shall be monitored by the contractor.
7. Bring site to sub-grade.
8. Excavate foundations, use materials as fill for site, construct foundation and building.
9. All slopes along the property lines shall be mulched temporarily, if disturbed within 7 days.
10. Temporary stone (3" - 6") shall be placed at the project entrance when accessing existing pavement. Sweeping is required if fines are observed in the public ways.
11. All disturbed areas not treated with permanent loam and seed shall be covered with mulch, or other erosion control device.
12. All construction grades in the interim shall be sloped to flow into the temporary basin, where possible.
13. The site mitigation of erosion in those areas to be landscaped or mulched shall be to install as soon as possible.
14. Clean all sediment out of the catch basins and install per plan specifications prior to final grading and surface stabilization.
15. The subsurface drainage system shall be installed prior to pavement installation proper filter fabric shall be placed at inlets to keep the storm drainage clean of debris.
16. Once the curb is installed, the permanent mulch and landscaping shall be installed.
17. Sediment control shall remain in place until the site is stabilized.
18. Clean all on site catch basins, manholes, piping and subsurface drainage system. Install silt bags at each catch basin.
19. Keep site swept and maintained per stormwater management plan.



**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SILTATION BASKET TYPE II-S (SEDIMENT)**  
N.T.S.



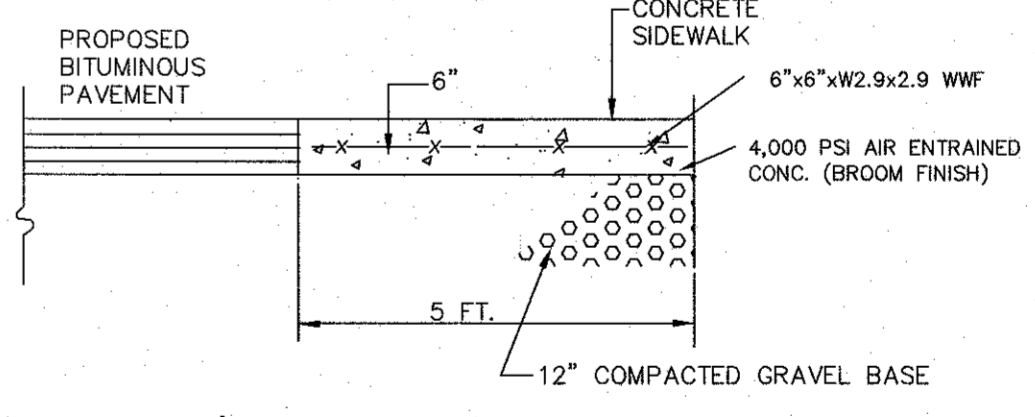
**EXPANSION JOINT**

**CONTROL JOINT**

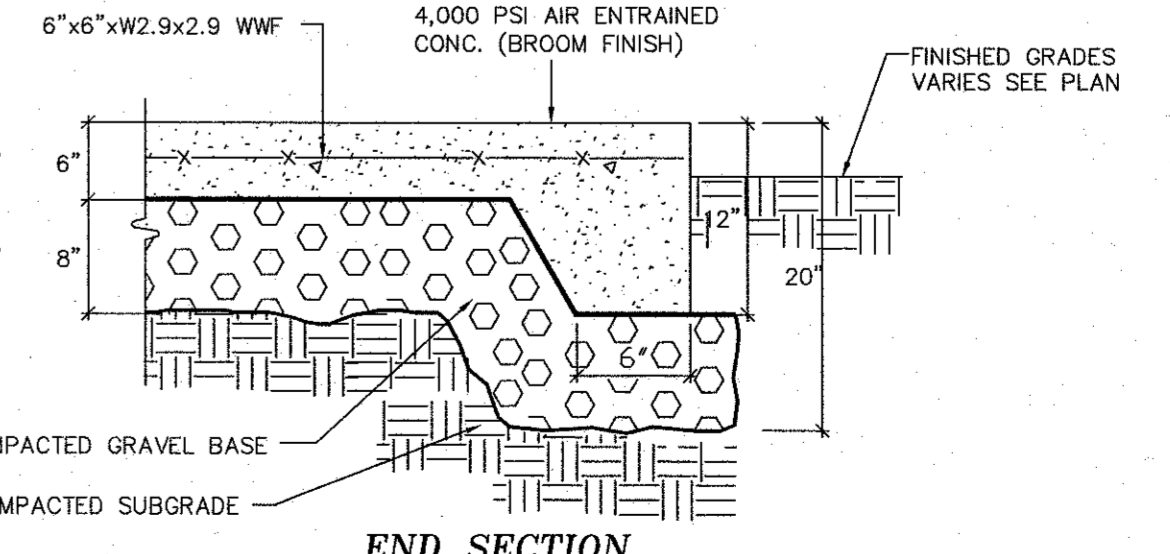
**TYP. CONC. SIDEWALK DETAILS**  
N.T.S.

**General erosion control and Construction notes**

1. The limits of all clearing, grading and disturbance shall be kept to a minimum within the proposed area of construction. All areas outside the limits of disturbance shall remain totally undisturbed.
2. Inspect all sediment and erosion control measures at least once per week and within 24 hours after every rainfall event.
3. Maintain all erosion and sediment control measures or replace as required to assure proper function.
4. Contractor shall immediately repair any and all erosion and sediment controls found to be faulty.
5. Any and all debris and litter which accumulates in the basins shall be removed weekly.
6. The contractor shall implement all reasonable erosion and sediment controls prior to the actual commencement of construction activities including the clearing and/or grubbing of any portion of the property. These measures shall be maintained in effect throughout the entire construction phase, or until the site has become stabilized with an adequate vegetative cover.
7. Sediment build up behind filtermitt shall be monitored and be removed whenever it has accumulated to four inches in depth.
8. Sediment build up in the basin shall be promptly removed if accumulation exceeds twelve (12) inches in depth at the outlets.
9. Catch basins shall be protected with silt filters (silt sacks). Inspect sediment filters at least once per week and within 24 hours after rainfall that produces runoff.
10. Clean or replace filters within 24 hours of inspection when sediment reaches one half of the filter sack depth. Catch basins shall be protected by sediment filters throughout the construction period and until all disturbed areas are thoroughly stabilized. Sumps shall be cleaned whenever sediment has accumulated to a depth of 24 inches and immediately following installation of permanent pavement.
11. The contractor shall maintain an adequate stockpile of erosion control materials on-site at all times for emergency or routine replacement and shall include materials to repair or replace silt fence, haybales, stone filter dikes or any other devices planned for use during construction.
12. The contractor is to inspect all controls no less than weekly, and in anticipation of rainfall events expected to exceed 1/2 inch in depth. All deficiencies noted during said inspection shall be repaired immediately and in no case shall a deficiency be allowed to go uncorrected during a rainfall event. The erosion control devices shall be maintained, reinforced, or replaced if necessary. All accumulated sediments and other materials collected by the sedimentation control systems shall be removed as necessary to insure proper function of systems and disposed of in a manner that is consistent with the intent of this plan, in an upland area.
13. Storm drain inlet protection shall be used for all existing and proposed catch basins in the project area. Prior to completion of the project, all catch basins within the project area shall be cleaned.
14. All disturbed earth slopes area to be stabilized with permanent vegetative cover, to be established as soon as possible. Disturbed areas that are not subject to construction traffic shall receive a permanent or temporary vegetative cover as soon as final contours are established. Temporary vegetative cover is to be established on all disturbed areas where construction activities will not require additional disturbance for period of 30 days or more. If the season prevents the establishment of vegetative cover, disturbed areas shall be mulched and then seeded as soon as weather conditions allow.
15. All plantings shall be accomplished by the contractor as early as the possible upon completion of grading and construction.
16. All plantings shall be watered and maintained by the contractor to ensure survival.
17. Erosion Control shall remain in place until the Certificate of Compliance is issued



**PAVEMENT/ CONCRETE SIDEWALK DETAIL FLUSH FOR HANDICAP ACCESSIBILITY**  
NOT TO SCALE



**END SECTION**

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

NOTES:  
 1. PARCEL REFERENCE IN THE MENDON TOWN ASSESSOR MAP 9 LOTS 49.  
 2. PARCEL IS WITHIN THE ADULT ENTERTAINMENT OVERLAY DISTRICT FOR TOWN OF MENDON.  
 3. ELEVATIONS REFER TO 1929 NGVD DATUM.  
 4. LIGHTING SHALL CONFORM TO THE MENDON BYLAW. ALL PROPOSED LIGHTING WILL NOT CAUSE GLARE OFF-SITE.

WARNING:  
 EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.  
 CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

**NOTES**

**LEGEND**

	DRAIN MANHOLE
	CATCH BASIN
	HYDRANT
	WATER GATE
	CONTOUR
	PROPOSED FENCE
	INVERT
	HEADWALL
	UTILITY POLE
	GUYWIRE
	WELL
	IRON PIN (1)
	STONE BOUND (1)
	DRILLHOLE (1)
	STONEWALL
	GUARDRAIL

REV.	DATE	DESCRIPTION	INT
2	03/02/2020	REV. DETAILS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/19	REVISED DETAILS FOR REVISED SITE PLANS	DMK

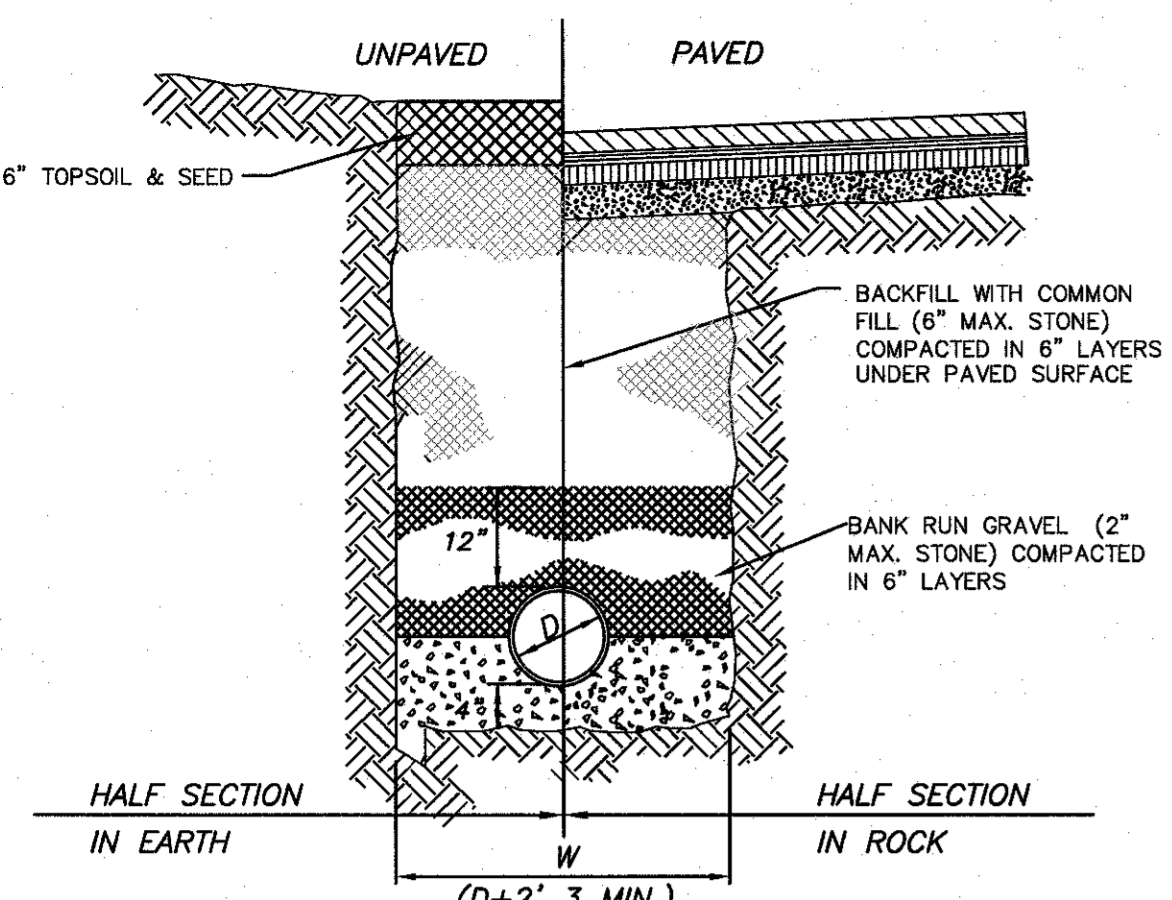
**49 MILFORD STREET PROPOSED ADULT ENTERTAINMENT SITE**

OWNER/APPLICANT  
 GEORGE FUNARI  
 49 MILFORD STREET  
 MENDON, MA 01756  
 508-653-0139

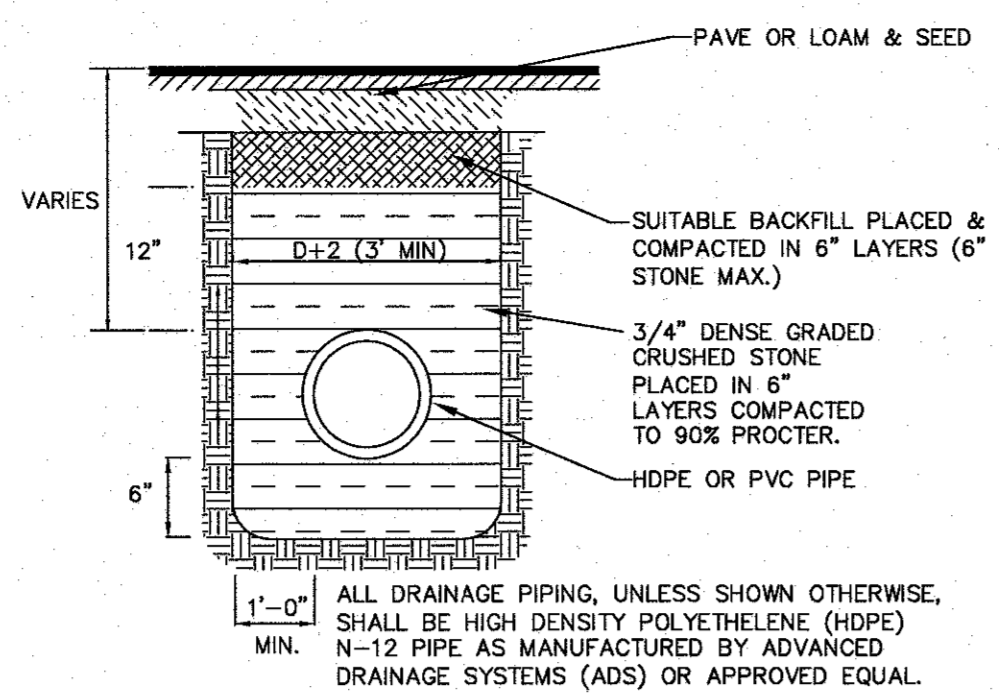
DETAIL-1 SHEET FOR SITE  
 IN  
**MENDON, MA**  
 SCALE: 1"=30'  
 DATE: OCTOBER 30, 2008



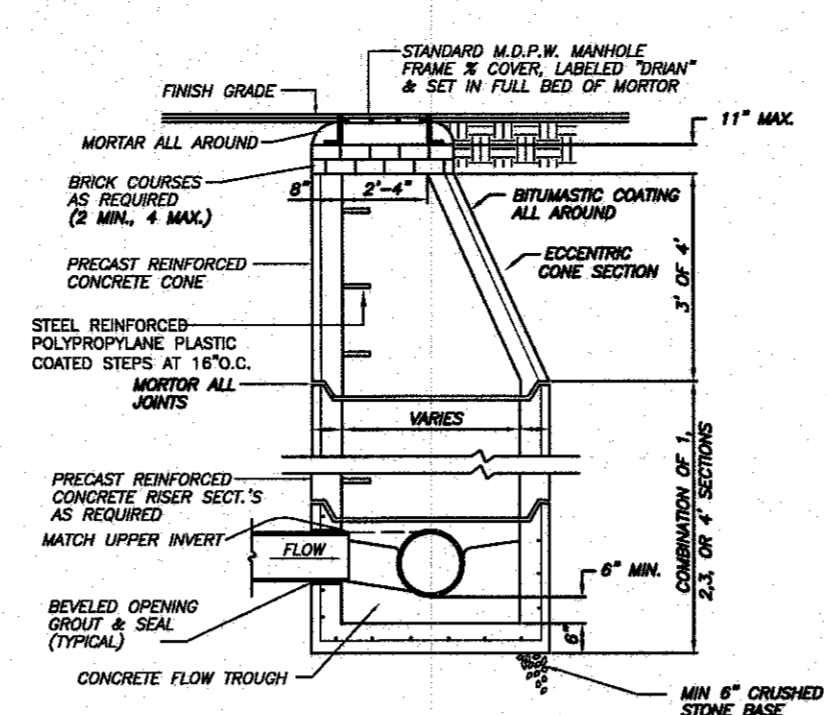




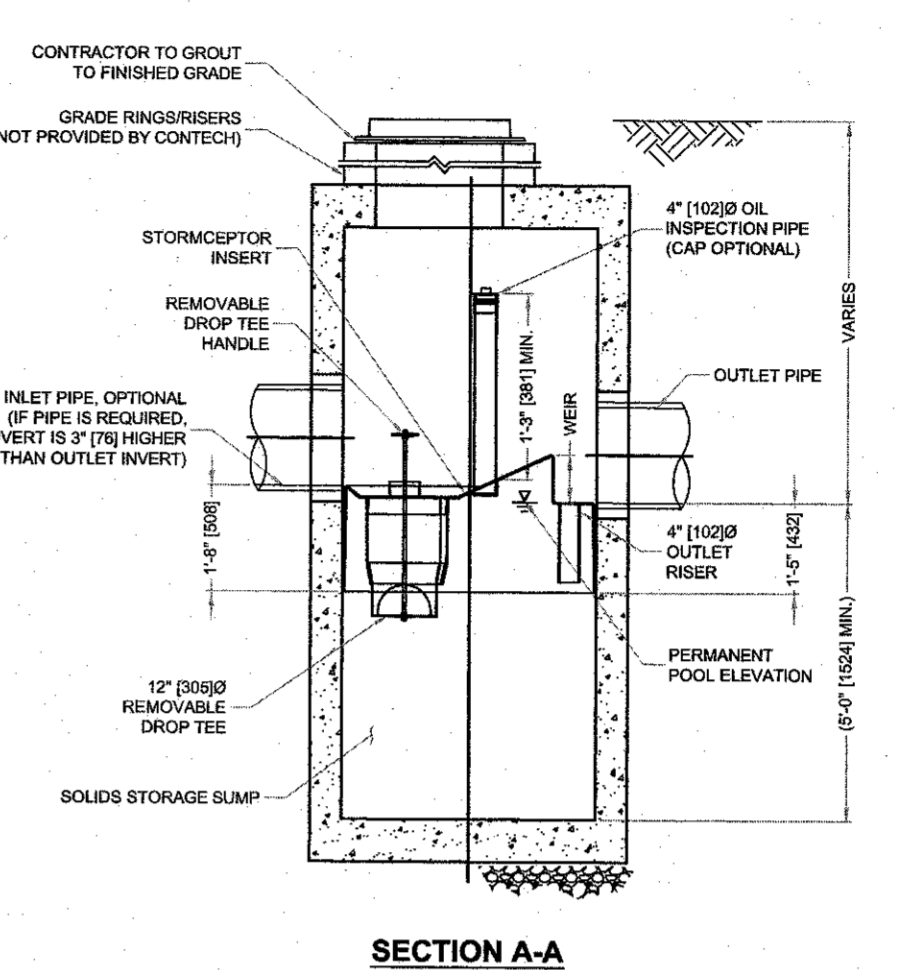
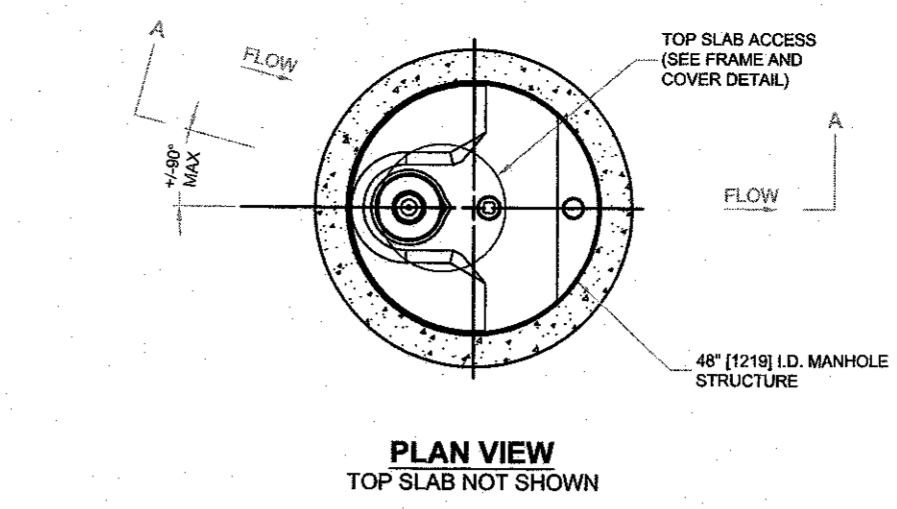
**TYPICAL TRENCH SECTION**  
NOT TO SCALE



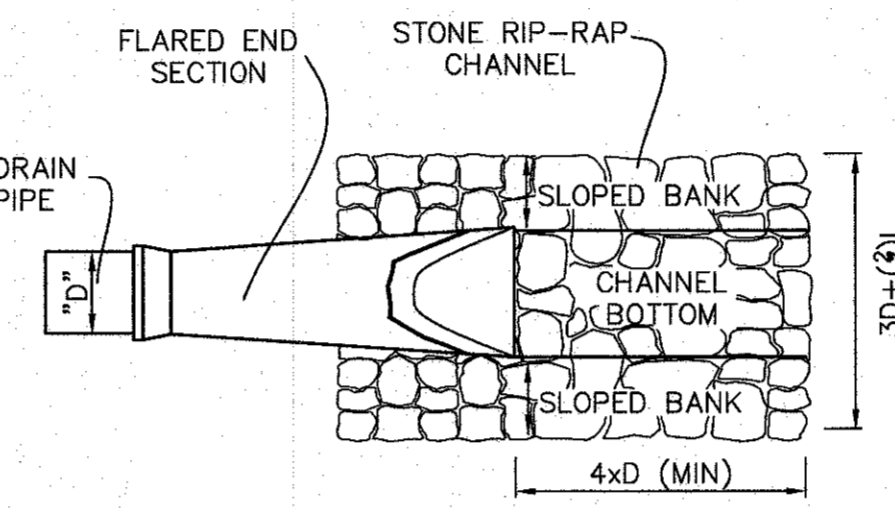
**HDPE AND PVC PIPE TRENCH**  
NOT TO SCALE



**PRECAST CONCRETE DRAIN MANHOLE**  
N.T.S.

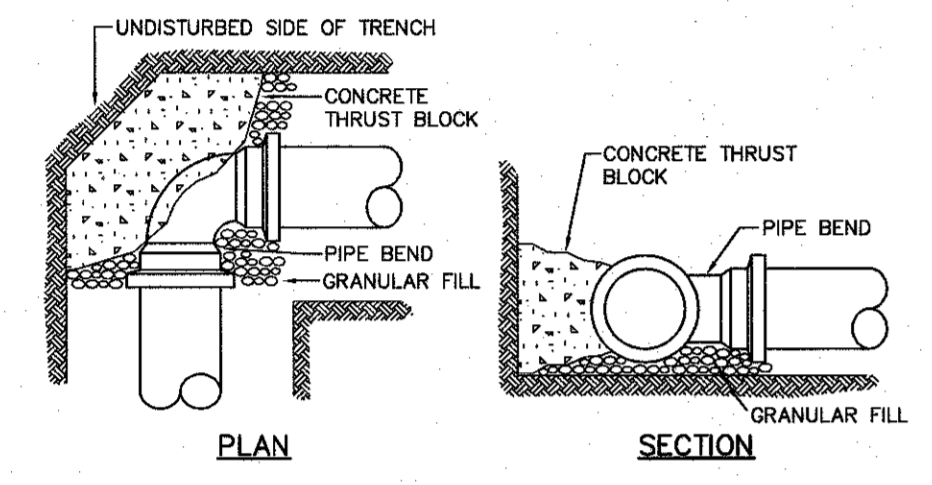


**STC 450i STORMCEPTOR W/CB GRATE**

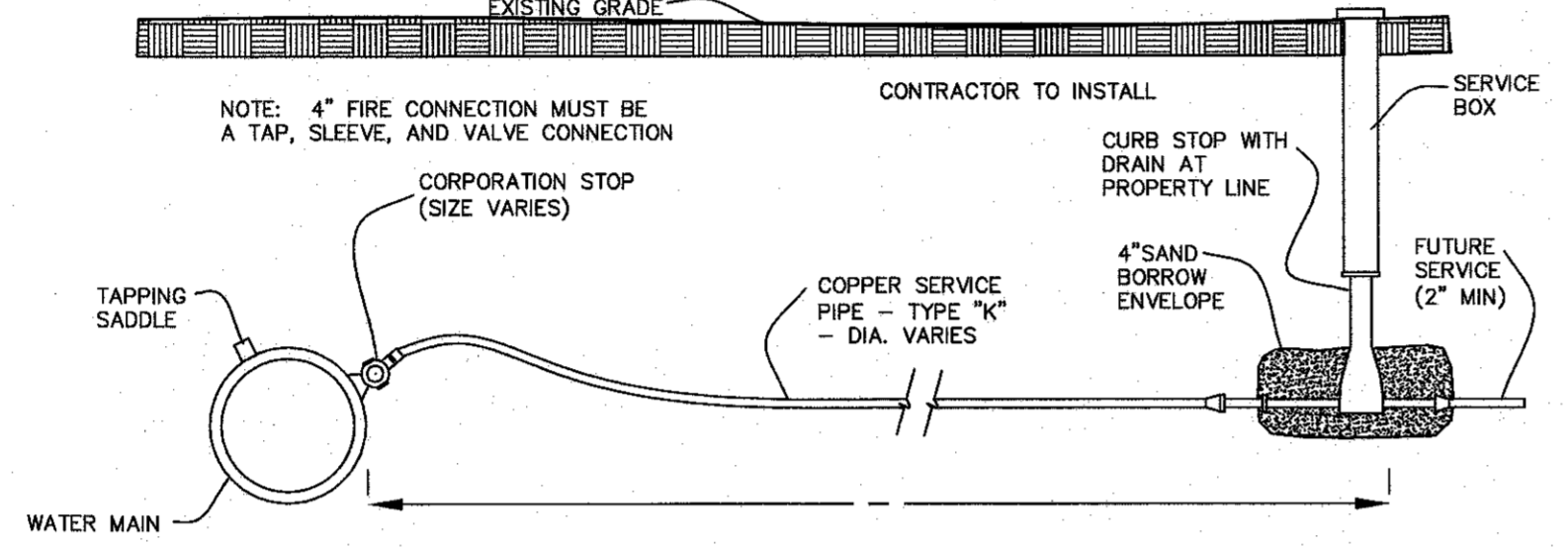


- NOTES:
1. FILTER MATERIAL BENEATH RIP-RAP UNLESS BANK IS OF GRAVEL & COURSE SAND MIX. (SEE SIZING CHART).
  2. MIN. STONE WEIGHT = 50LBS.
  3. 75% OF TOTAL STONE VOLUME TO BE MIN. 75LBS. STONE.
  4. SEE M.D.P.W. STANDARDS M2.02.3.
  5. MIN. DEPTH OF RIP RAP TO BE 18\".

**FLARED END OUTLET WITH RIP-RAP**  
NOT TO SCALE

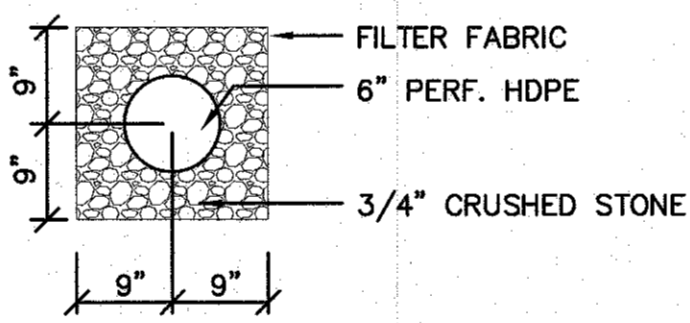


**THRUST BLOCK DETAIL**  
NOT TO SCALE

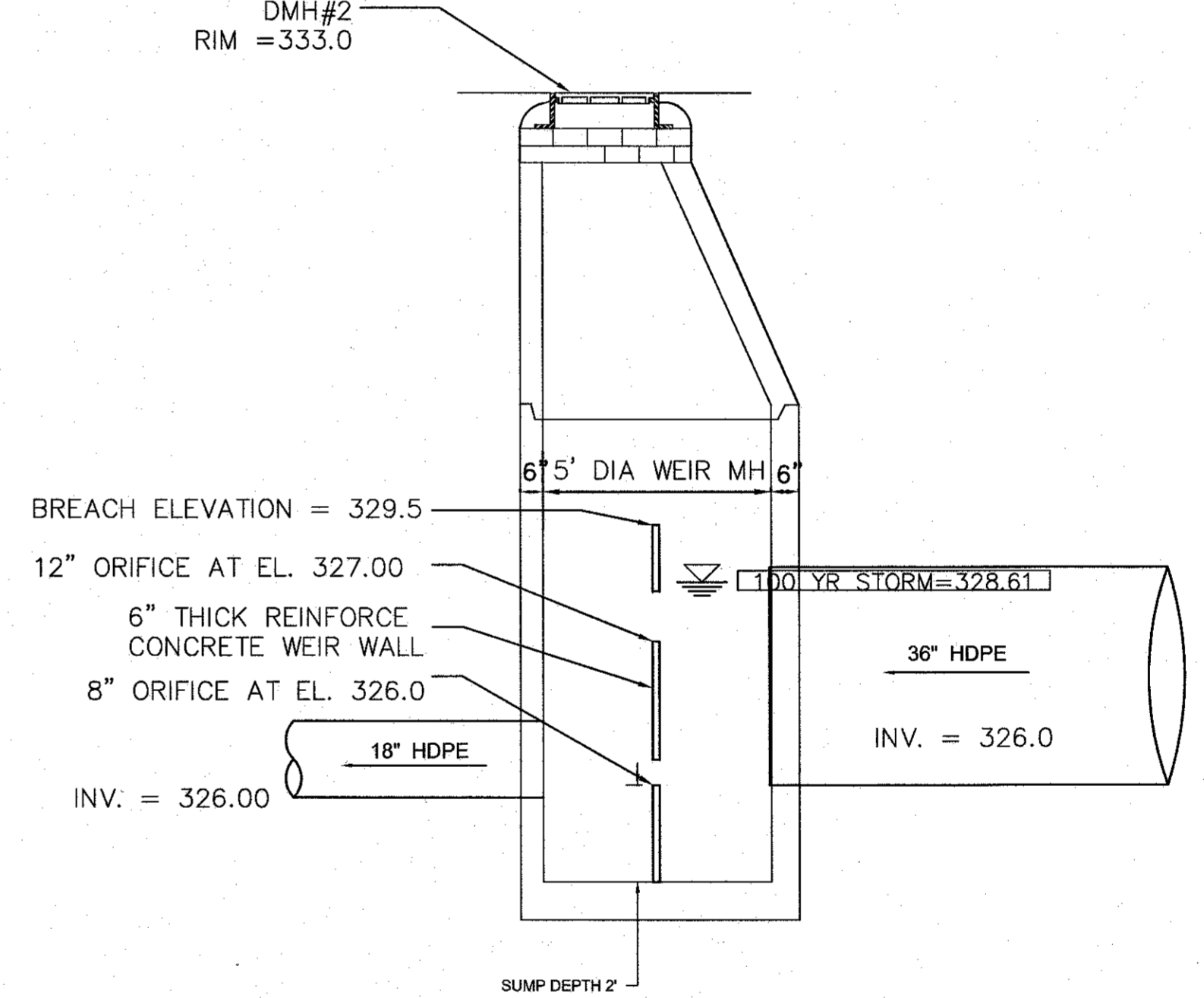


- NOTES:
1. CORPORATION COCKS SHALL BE BRONZE AND SHALL BE THE APPROVED EQUAL OF MUELLER VALVE CO., DECATUR, ILL. OR FORD METER BOX CO., WABASH, IND., FOR COPPER SERVICE TUBE. END JOINTS SHALL BE COMPRESSION FITTINGS.
  2. CURB STOPS SHALL BE BRONZE WITH A LAPPED GROUND KEY, AND SHALL BE THE APPROVED EQUAL OF MUELLER VALVE CO., DECATUR, ILL. OR FORD METER BOX CO., WABASH, IND., FOR COPPER TUBE SERVICE, COMPRESSION JOINT.

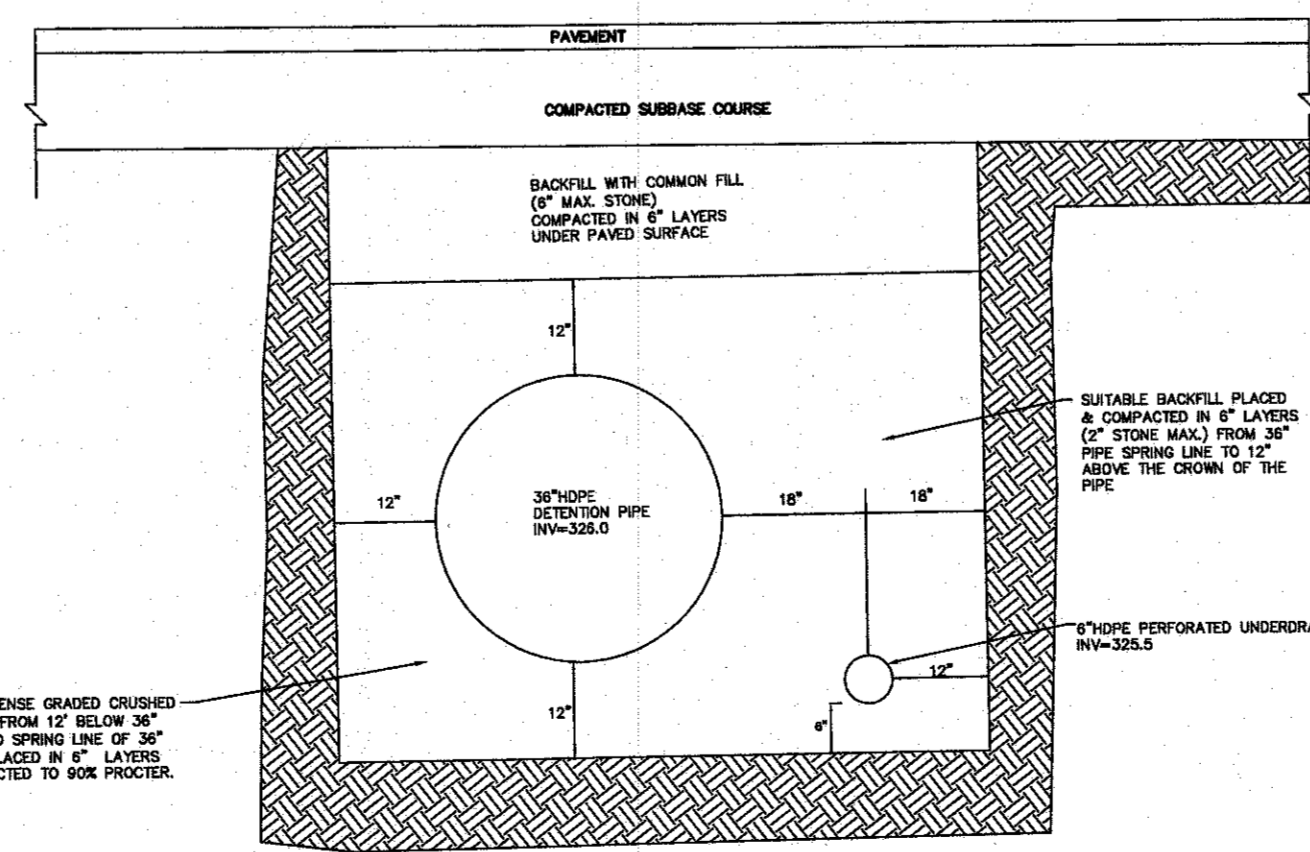
**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



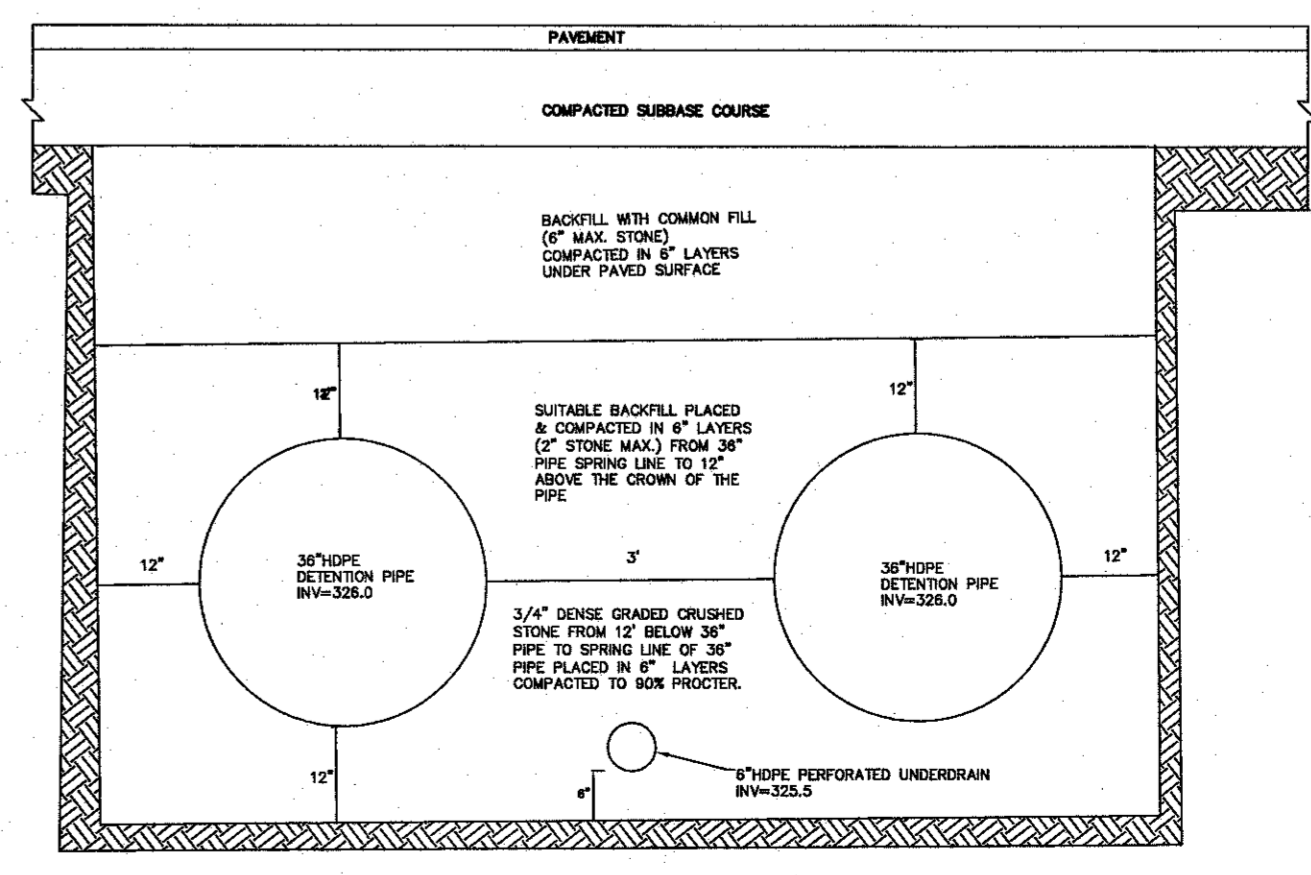
**6\"/>**



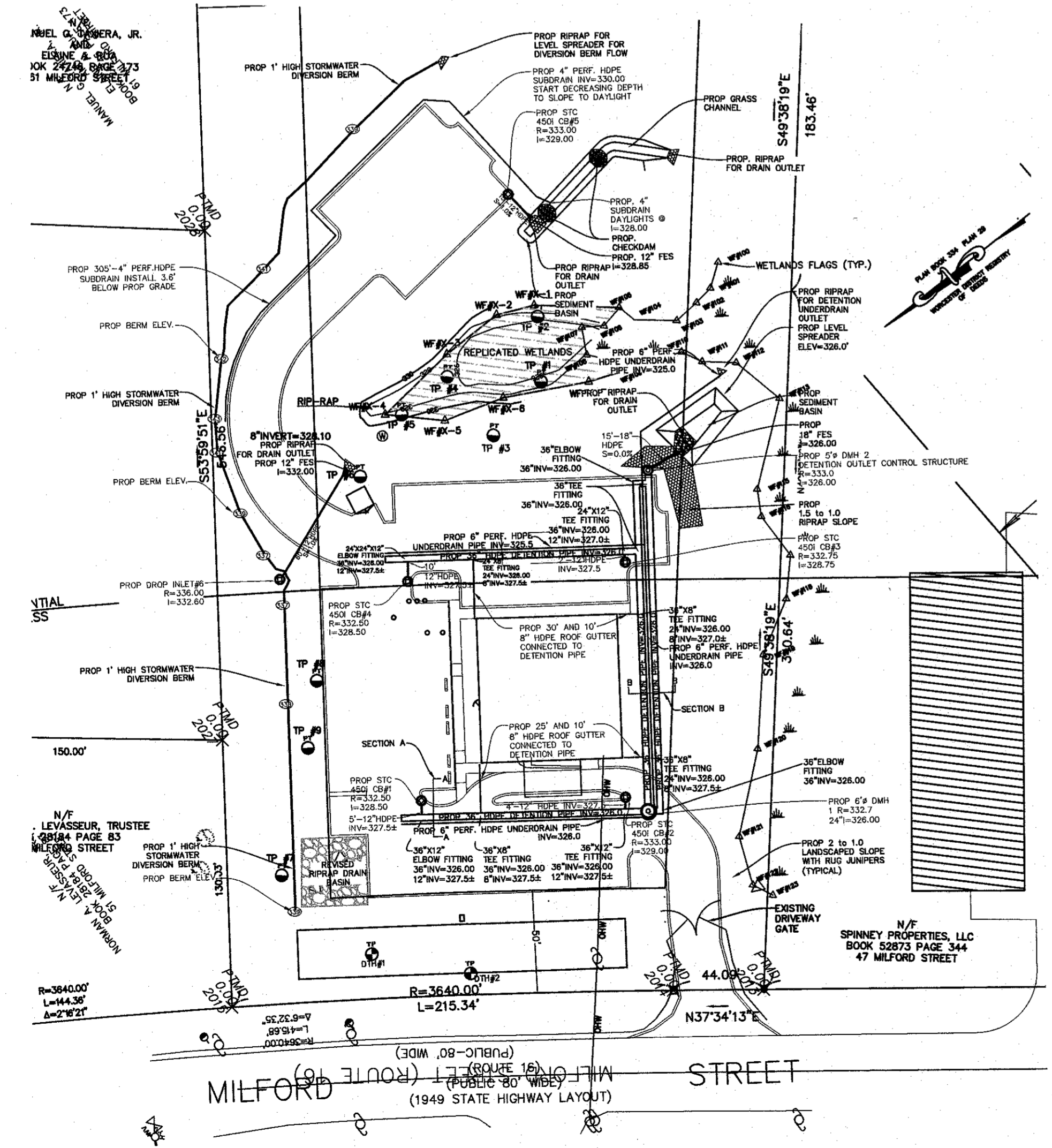
**UNDERGROUND DETENTION PIPE OUTLET STRUCTURE DETAIL**  
N.T.S.



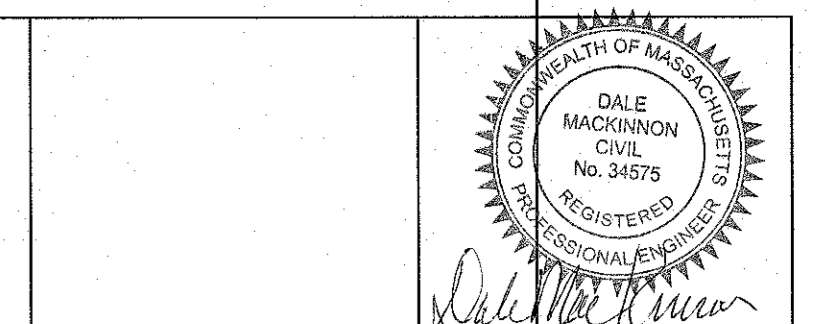
**UNDERGROUND DETENTION DETAIL**  
NOT TO SCALE



**SECTION B**  
NOT TO SCALE



**DRAINAGE DETAIL**  
SCALE 1"=50'



DATE: 10/30/2018

- NOTES:
1. PARCEL REFERENCE IN THE MENDON TOWN ASSESSOR MAP 9 LOTS 49.
  2. PARCEL IS WITHIN THE ADULT ENTERTAINMENT OVERLAY DISTRICT FOR TOWN OF MENDON.
  3. ELEVATIONS REFER TO 1929 NGVD DATUM.
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**NOTES**

**LEGEND**

○	DRAIN MANHOLE
□	CATCH BASIN
⊕	HYDRANT
⊕	WATER GATE
---	CONTOUR
---	PROPOSED FENCE
△	INVERT
---	HEADWALL
○	UTILITY POLE
○	GUYWIRE
○	WELL
○	IRON PIN (f)
○	STONE BOUND (f)
○	DRILLHOLE (f)
---	STONEMALL
---	GUARDRAIL

**49 MILFORD STREET PROPOSED ADULT ENTERTAINMENT SITE**

OWNER/APPLICANT  
GEORGE FUNARI  
49 MILFORD STREET  
MENDON, MA 01756  
508-653-0139

DETAIL-2 SHEET FOR SITE  
IN  
**MENDON, MA**  
SCALE: 1"=30'  
DATE: OCTOBER 30, 2008

**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
333 WEST STREET, MILFORD, MASS. 01757  
(508) 473-6630 FAX: (508) 473-8243