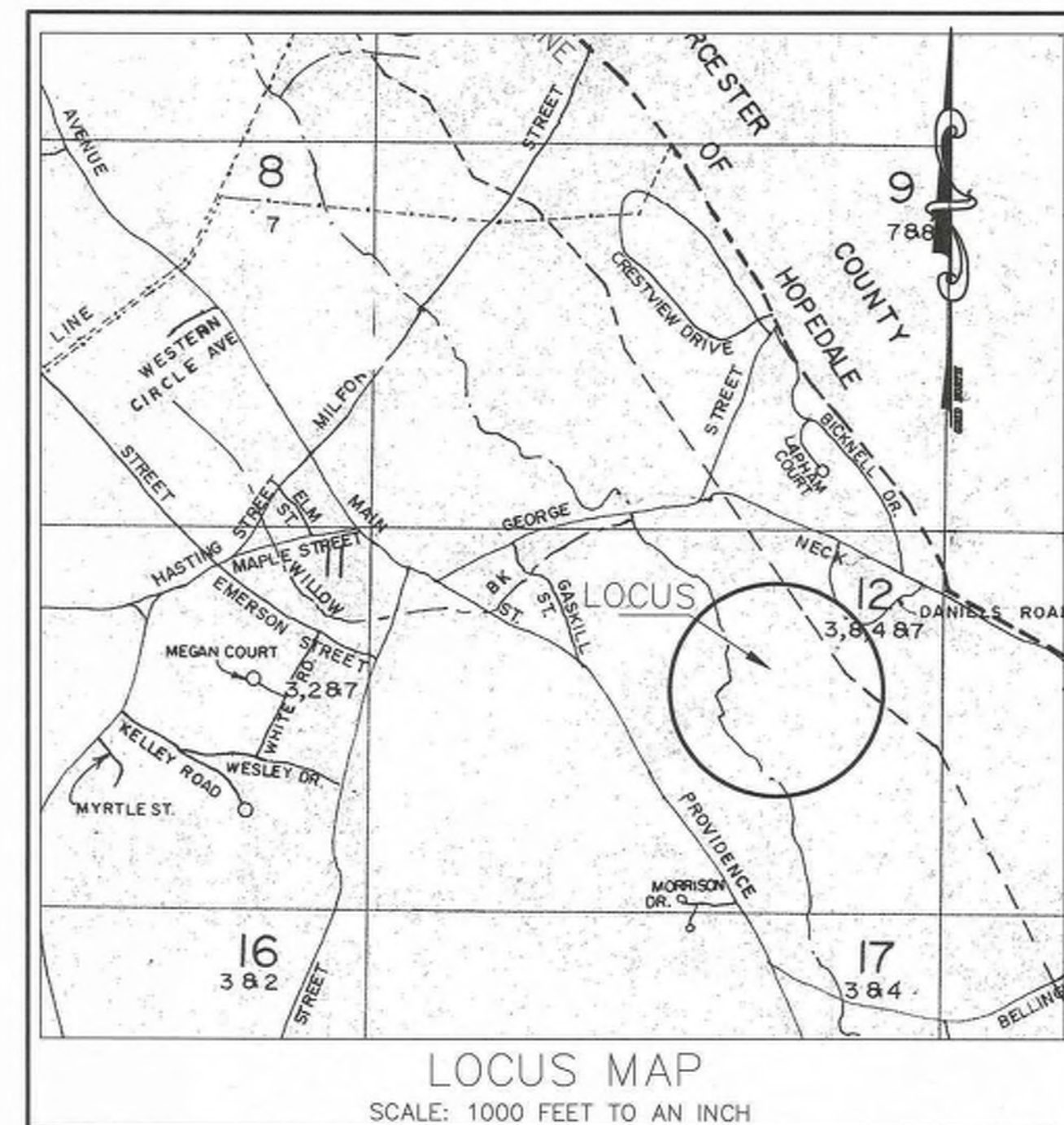


”MUDDY BROOK ESTATES”

PROPOSED OPEN SPACE COMMUNITY IN MENDON, MASSACHUSETTS



PLAN INDEX:

- SHEET 1: COVER SHEET
- SHEETS 2-5: DEFINITIVE PLANS
- SHEET 6-8: EXISTING CONDITIONS PLAN
- SHEETS 9 & 10: GRADING & UTILITIES PLAN
- SHEETS 11: PLAN AND PROFILE SHEET
- SHEET 12: LOT DEVELOPMENT PLAN
- SHEET 13: EROSION CONTROL PLAN
- SHEETS 14: DETAIL SHEET

PLANS DATED: SEPTEMBER 13, 2021

LIST OF WAIVERS

1. 3.3.2.17 – TREE INVENTORY
2. 3.3.2.21 – CROSS SECTIONS EVERY 50 FEET
3. 4.15.6 – MAXIMUM GRADIENT
ALLOWED – 8% PROPOSED – 10%
4. 4.15.8.3 – REQUIRED LEVELLING AREA
5. 4.15.8.2 – SAG CURVE MIN. K VALUE
ALLOWED – 37 PROPOSED – 17.5
6. 5.2.1.1 – MINIMUM WIDTH REQUIREMENTS
TRAVELED WAY – 28’ PROPOSED – 24’
7. 5.2.1.1 – SIDEWALK-2 REQUIRED 1 PROPOSED
8. 3.3.4 – SOIL SURVEY AND PERCOLATION TESTS



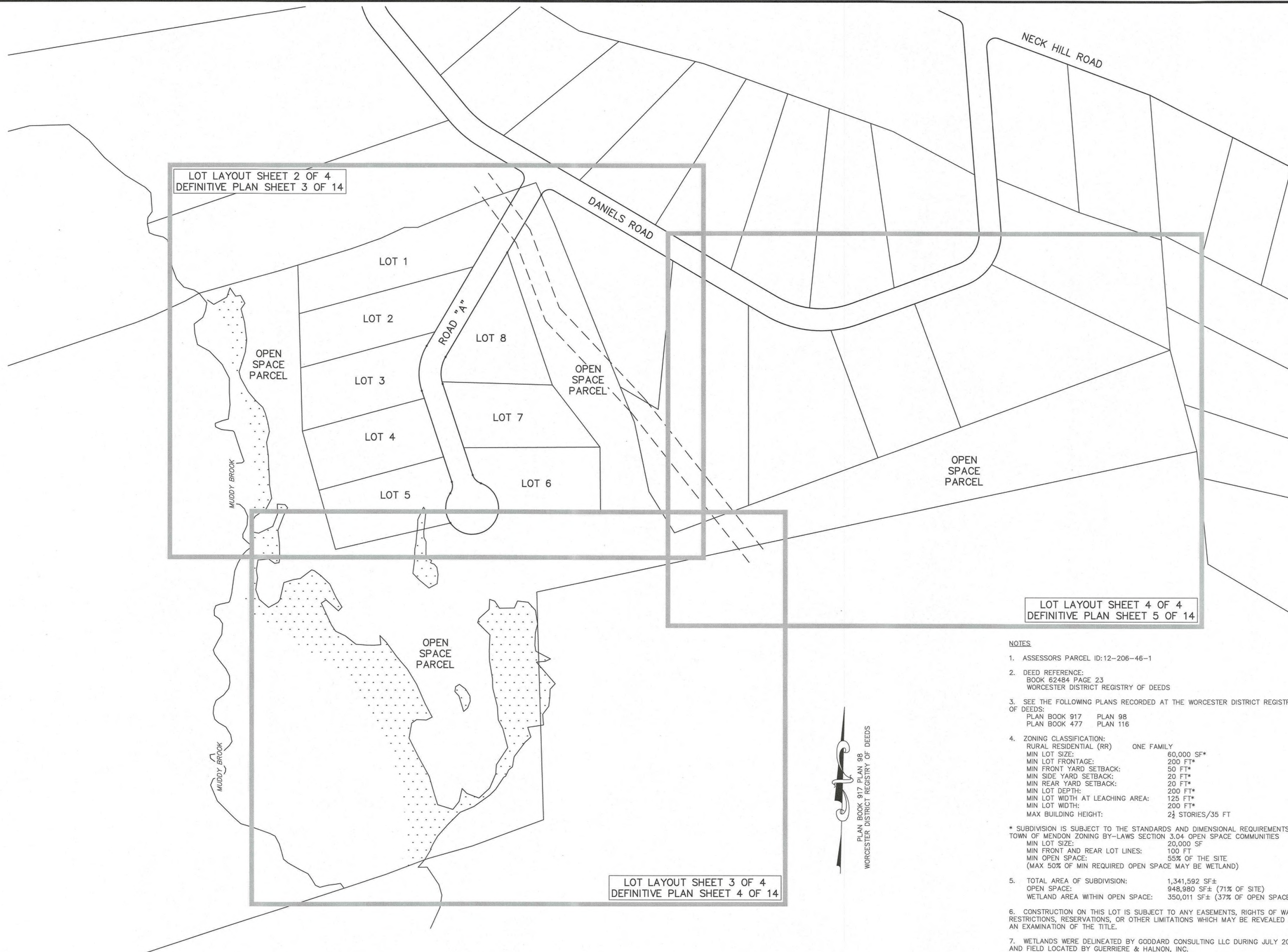
OWNER:
D & F AFONSO BUILDERS
189 MAIN STREET
MILFORD, MA 01757

APPLICANT:
D & F AFONSO BUILDERS
189 MAIN STREET
MILFORD, MA 01757



**Guerriere
&
Halnon, Inc.**

Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243



LOT LAYOUT SHEET 2 OF 4
DEFINITIVE PLAN SHEET 3 OF 14

LOT LAYOUT SHEET 4 OF 4
DEFINITIVE PLAN SHEET 5 OF 14

LOT LAYOUT SHEET 3 OF 4
DEFINITIVE PLAN SHEET 4 OF 14

PLAN BOOK 917 PLAN 98
WORCESTER DISTRICT REGISTRY OF DEEDS

NOTES

- ASSESSORS PARCEL ID: 12-206-46-1
- DEED REFERENCE:
BOOK 62484 PAGE 23
WORCESTER DISTRICT REGISTRY OF DEEDS
- SEE THE FOLLOWING PLANS RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS:
PLAN BOOK 917 PLAN 98
PLAN BOOK 477 PLAN 116
- ZONING CLASSIFICATION:
RURAL RESIDENTIAL (RR) ONE FAMILY
MIN LOT SIZE: 60,000 SF*
MIN LOT FRONTAGE: 200 FT*
MIN FRONT YARD SETBACK: 50 FT*
MIN SIDE YARD SETBACK: 20 FT*
MIN REAR YARD SETBACK: 20 FT*
MIN LOT DEPTH: 200 FT*
MIN LOT WIDTH AT LEACHING AREA: 125 FT*
MIN LOT WIDTH: 200 FT*
MAX BUILDING HEIGHT: 2 1/2 STORIES/35 FT
- SUBDIVISION IS SUBJECT TO THE STANDARDS AND DIMENSIONAL REQUIREMENTS OF TOWN OF MENDON ZONING BY-LAWS SECTION 3.04 OPEN SPACE COMMUNITIES
MIN LOT SIZE: 20,000 SF
MIN FRONT AND REAR LOT LINES: 100 FT
MIN OPEN SPACE: 55% OF THE SITE
(MAX 50% OF MIN REQUIRED OPEN SPACE MAY BE WETLAND)
- TOTAL AREA OF SUBDIVISION: 1,341,592 SF±
OPEN SPACE: 948,980 SF± (71% OF SITE)
WETLAND AREA WITHIN OPEN SPACE: 350,011 SF± (37% OF OPEN SPACE)
- CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
- WETLANDS WERE DELINEATED BY GODDARD CONSULTING LLC DURING JULY 2018 AND FIELD LOCATED BY GUERRIERE & HALNON, INC.
- REFERENCE IS MADE TO AN AT&T EASEMENT DEPICTED ON A PLAN RECORDED IN PLAN BOOK 917 PLAN 98 AT THE WORCESTER DISTRICT REGISTRY OF DEEDS.



DATE: 9-13-21 DATE:

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS AND IS NOT A CERTIFICATION TO THE TITLE OF THE PROPERTY SHOWN HEREON.

PLS: [Signature] DATE: 9-13-2021

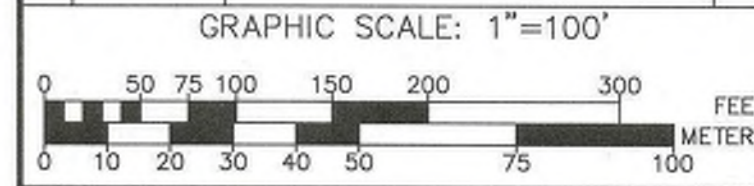
NOTES
"APPROVED FOR OPEN SPACE COMMUNITY"
APPROVED DATE: _____
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED
MENDON PLANNING BOARD

SIGNATURE DATE: _____
"THIS IS TO CERTIFY THAT NOTICE FROM THE PLANNING BOARD OF APPROVAL OF THE WITHIN PLAN WAS RECORDED BY ME ON _____ AT _____ AND NO NOTICE OF APPEAL FROM SUCH APPROVAL WAS RECEIVED BY ME DURING THE TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SUCH NOTICE OF APPROVAL."

MENDON TOWN CLERK DATE _____
OWNER AND APPLICANT
D & F AFONSO BUILDERS INC.
189 MAIN STREET
MILFORD MA 01757
BOOK 62484 PAGE 23
WORCESTER DISTRICT REGISTRY OF DEEDS

"MUDDY BROOK ESTATES"
OPEN SPACE COMMUNITY
DEFINITIVE PLAN
OF LAND
IN
MENDON, MASSACHUSETTS
DATE: SEPTEMBER 9, 2021

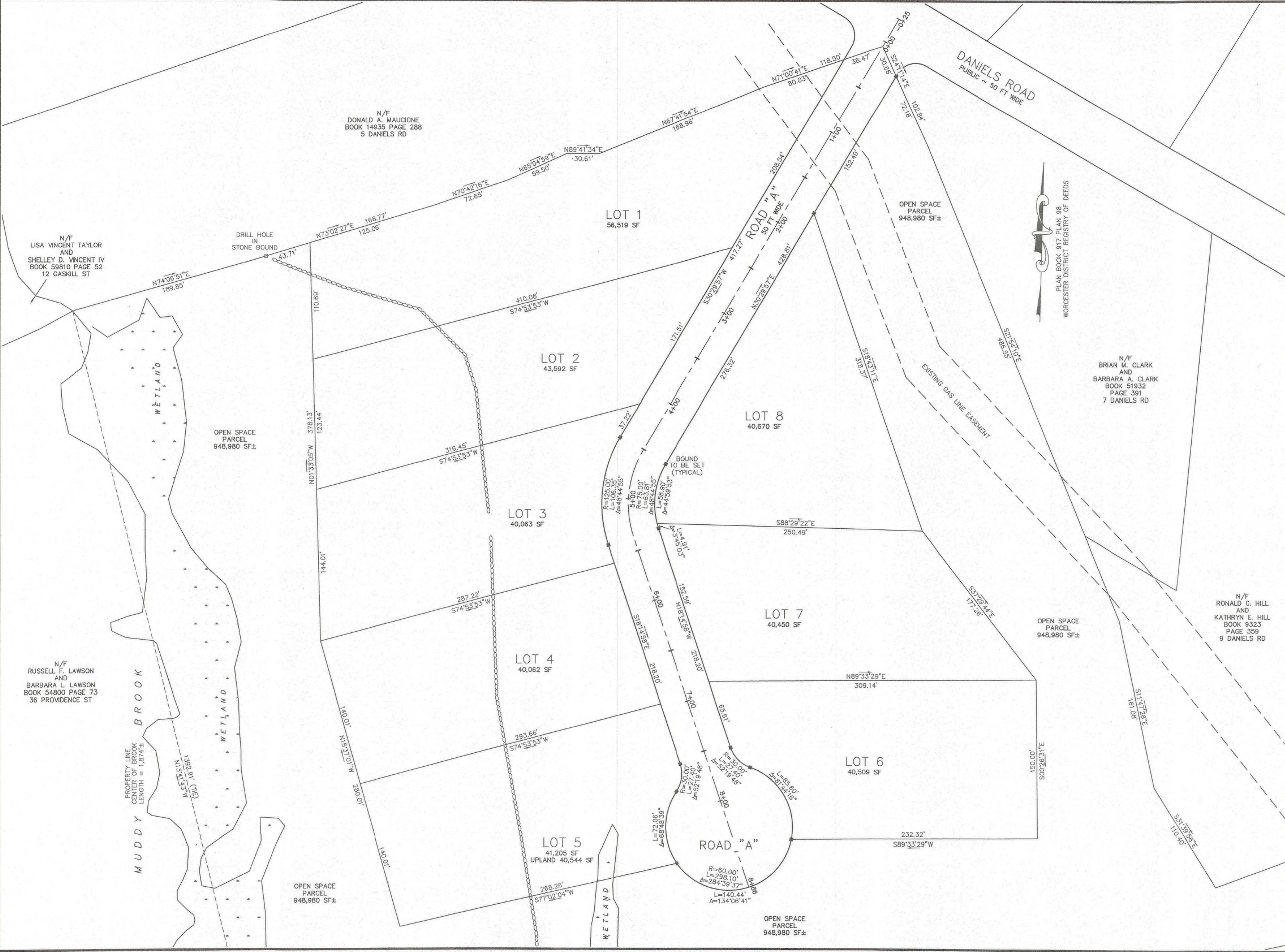
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Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com

LOT LAYOUT KEY SHEET FOR RECORDING 1 OF 4
DEFINITIVE PLAN SHEET 2 OF 14

G:\3Dmillford\G-10275\DWG\Definitive\G-10275 LAYOUT.dwg 2021-09-09 foleksyk



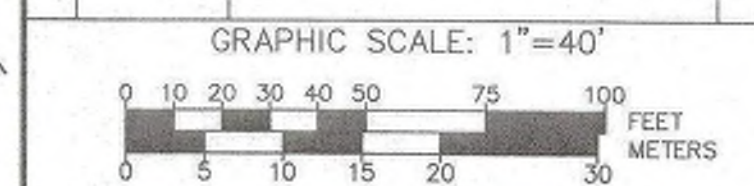
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 PLS _____ DATE: 9-13-2021

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 MENDON TOWN CLERK _____ DATE: _____
 OWNER AND APPLICANT
 D & F AFONSO BUILDERS INC.
 189 MAIN STREET
 MILFORD MA 01757
 BOOK 62484 PAGE 23
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"MUDDY BROOK ESTATES"
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 DEFINITIVE PLAN
 OF LAND
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 DATE: SEPTEMBER 9, 2021

NO	DATE	REVISION	INIT



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 MILFORD, MA 01757 FX. (508) 473-8243
 www.gandhengineering.com
 LOT LAYOUT SHEET FOR RECORDING 2 OF 4
 DEFINITIVE PLAN SHEET 3 OF 14

FOR REGISTRY USE ONLY

G-10275

G-10275



G-10275
FOR REGISTRY USE ONLY

ELIZABETH MANN-SAICHON
No. 53070
REGISTERED PROFESSIONAL LAND SURVEYOR

JEFFREY STEFANIUK
No. 53070
REGISTERED PROFESSIONAL LAND SURVEYOR

DATE: 9-13-21 DATE: _____

CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
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PLS: DATE: 9-13-2021

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APPROVED DATE: _____

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MENDON TOWN CLERK _____ DATE _____

OWNER AND APPLICANT

D & F AFONSO BUILDERS INC.
 189 MAIN STREET
 MILFORD MA 01757

BOOK 62484 PAGE 23
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"MUDDY BROOK ESTATES"

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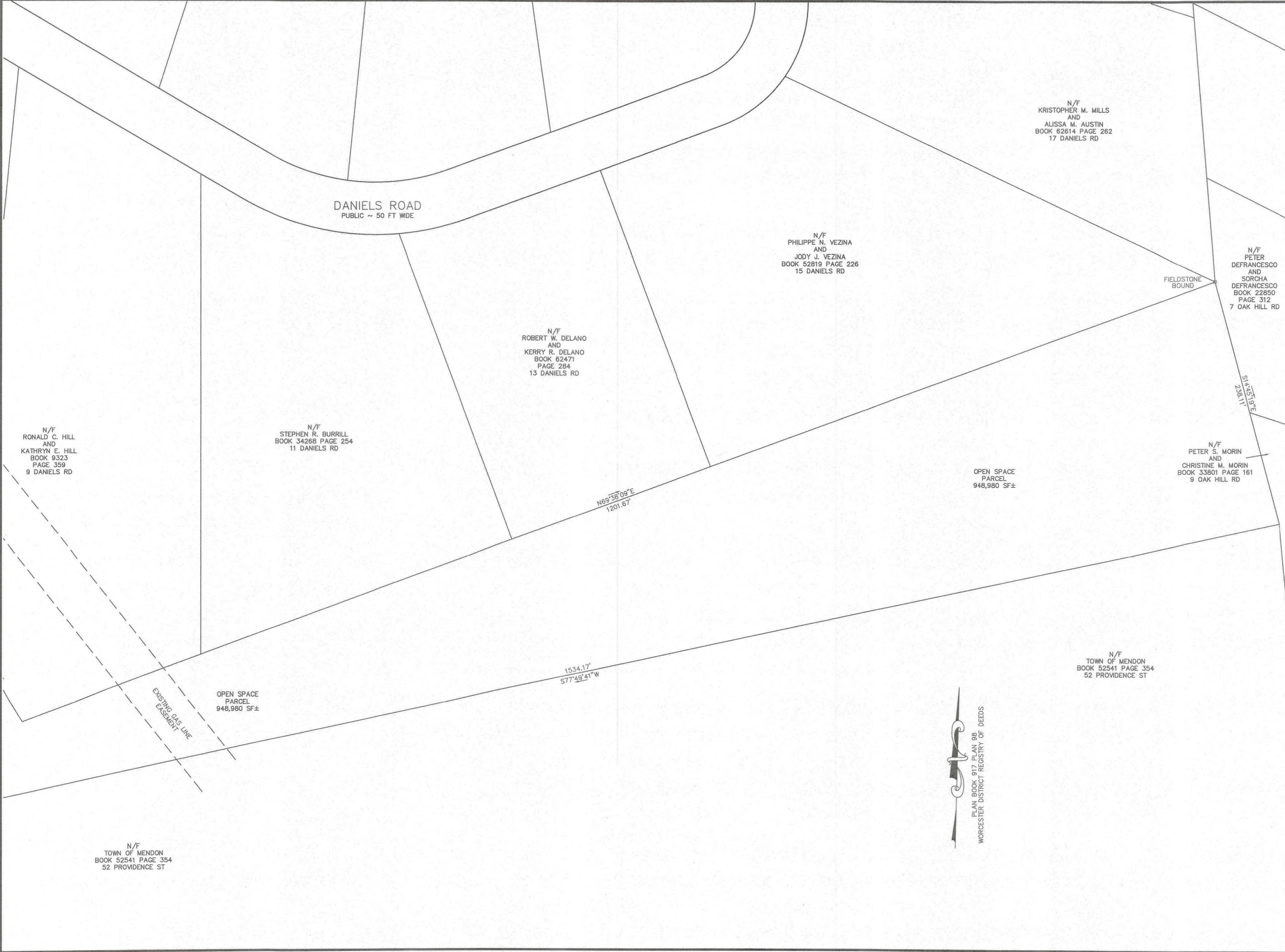
GRAPHIC SCALE: 1"=40'

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LOT LAYOUT SHEET FOR RECORDING 3 OF 4
 DEFINITIVE PLAN SHEET 4 OF 14

G-10275

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N/F
KRISTOPHER M. MILLS
AND
ALISSA M. AUSTIN
BOOK 62614 PAGE 262
17 DANIELS RD

N/F
PHILIPPE N. VEZINA
AND
JODY J. VEZINA
BOOK 52819 PAGE 226
15 DANIELS RD

N/F
ROBERT W. DELANO
AND
KERRY R. DELANO
BOOK 62471
PAGE 284
13 DANIELS RD

N/F
STEPHEN R. BURRILL
BOOK 34268 PAGE 254
11 DANIELS RD

N/F
RONALD C. HILL
AND
KATHRYN E. HILL
BOOK 9323
PAGE 359
9 DANIELS RD

N/F
PETER
DEFRANCESCO
AND
SORCHA
DEFRANCESCO
BOOK 22850
PAGE 312
7 OAK HILL RD

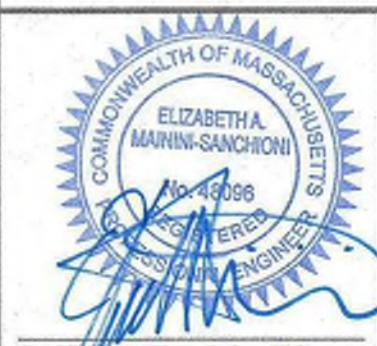
N/F
PETER S. MORIN
AND
CHRISTINE M. MORIN
BOOK 33801 PAGE 161
9 OAK HILL RD

OPEN SPACE
PARCEL
948,980 SF±

N/F
TOWN OF MENDON
BOOK 52541 PAGE 354
52 PROVIDENCE ST

OPEN SPACE
PARCEL
948,980 SF±

N/F
TOWN OF MENDON
BOOK 52541 PAGE 354
52 PROVIDENCE ST



DATE: 9-13-21 DATE: 9-13-21

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS."
"THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS AND IS NOT A CERTIFICATION TO THE TITLE OF THE PROPERTY SHOWN HEREON."

PLS DATE

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"APPROVED FOR OPEN SPACE COMMUNITY"
APPROVED DATE:
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MENDON TOWN CLERK DATE

OWNER AND APPLICANT

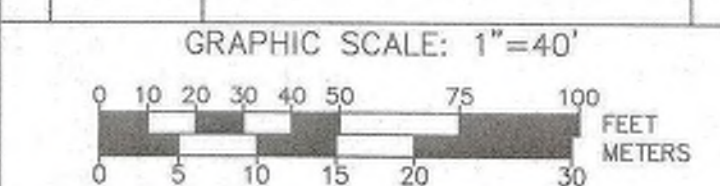
D & F AFONSO BUILDERS INC.
189 MAIN STREET
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333 WEST STREET PH. (508) 473-6630
MILFORD, MA 01757 FX. (508) 473-8243
www.gandhengineering.com



DATE: 9-13-21
 APPROVED DATE: MENDON PLANNING BOARD

SIGNATURE DATE: BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"
 EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.
 CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

#	DATE	DESCRIPTION	INIT
OWNER			
D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757			
APPLICANT			
D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757			

"MUDDY BROOK ESTATES"
 EXISTING CONDITIONS PLAN
 IN
 MENDON, MA
 SCALE: 40 FEET TO AN INCH
 DATE: SEPTEMBER 13, 2021:

Guerriere & Halnon, Inc.
 Engineering & Land Surveying
 333 WEST STREET, MILFORD, MASS. 01757
 (508) 473-6630 FAX: (508) 473-8243

RAFAEL CORONA

N/F
PIETRO J. DEGAETANO
AND
KATELYN DEGAETANO

N/F
PHILIPPE N. VEZINA
AND
JODY J. VEZINA

N/F
MICHAEL A.
PORTANOVA, JR.
AND
MICHAEL A.
PORTANOVA, III

N/F
STEPHEN R. BURRILL

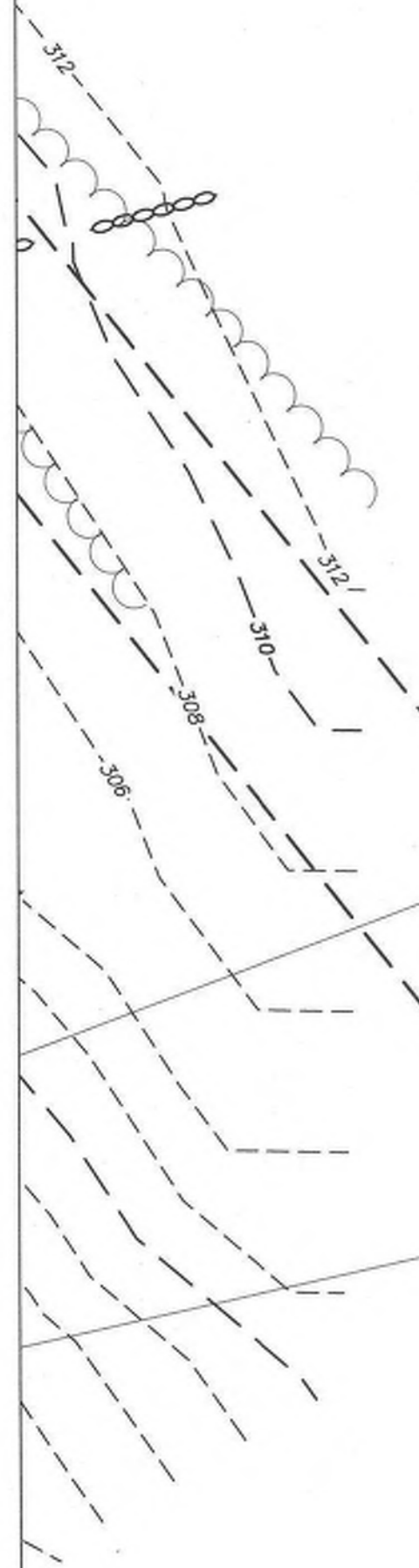
N/F
NALD C. HILL
AND
THRYN E. HILL

N/F
PETER DEFRANCESCO
AND
SORCCHA DEFRANCESCO
238.11'

PETER AND
CHRISTINE M. MORIN

1201.67'

1534.17'



N/F
TOWN OF MENDON



DATE: 9-13-21
APPROVED DATE:
MENDON PLANNING BOARD

SIGNATURE DATE:
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF
THE TITLE.

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DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION
AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR
SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO
EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED
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EXISTING LINES OTHER THAN THOSE INDICATED ON THESE
DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED
TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY
EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS
AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

#	DATE	DESCRIPTION	INIT

OWNER
D & F AFONSO BUILDERS
189 MAIN STREET
MILFORD, MA 01757

APPLICANT
D & F AFONSO BUILDERS
189 MAIN STREET
MILFORD, MA 01757

"MUDDY BROOK ESTATES"

EXISTING CONDITIONS PLAN
IN
MENDON, MA
SCALE: 40 FEET TO AN INCH
DATE: SEPTEMBER 13, 2021

Guerriere & Halnon, Inc.
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333 WEST STREET, MILFORD, MASS. 01757
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DATE: 9-13-21
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 CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

- NOTES**
1. PLAN REFERS TO TOWN OF MENDON ASSESSORS MAP 12 BLOCK 206 LOT 46-1.
 2. ZONING DISTRICT - RESIDENTIAL/OPEN SPACE
 3. ELEVATIONS ARE BASED ON NAVD 88.
 4. WETLANDS DELINEATED BY GODDARD CONSULTING, LLC AUGUST 2020.
 5. WETLANDS LOCATION AND TOPOGRAPHY BY GUERRIERE & HALNON INC.
 6. DELINEATION OF LIMITS OF MUDDY BROOK FOR RIVERFRONT BY GODDARD CONSULTING, LLC, AUGUST 2020.
 7. 100 YEAR FLOOD PLAIN TAKEN FROM FIRM MAP DATED OCTOBER 2020.
 8. CISTERN INSTALLATION TO CONFORM TO THE MENDON FIRE DEPARTMENT "RESIDENTIAL FIRE PROTECTION REQUIREMENTS" SECTION B.
 9. THE TREE WARDEN SHALL APPROVE THE SPECIES OF PROPOSED STREET TREES.

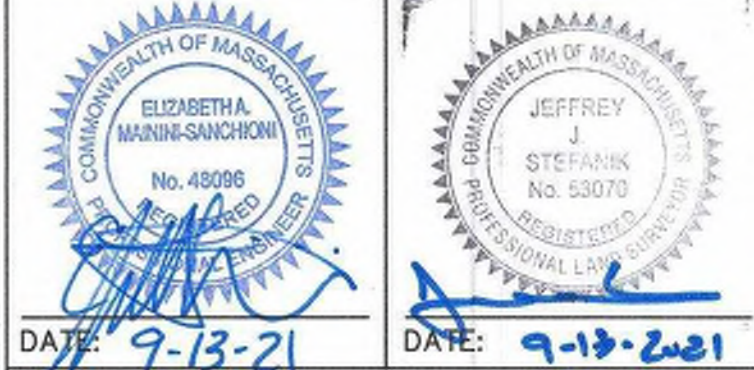
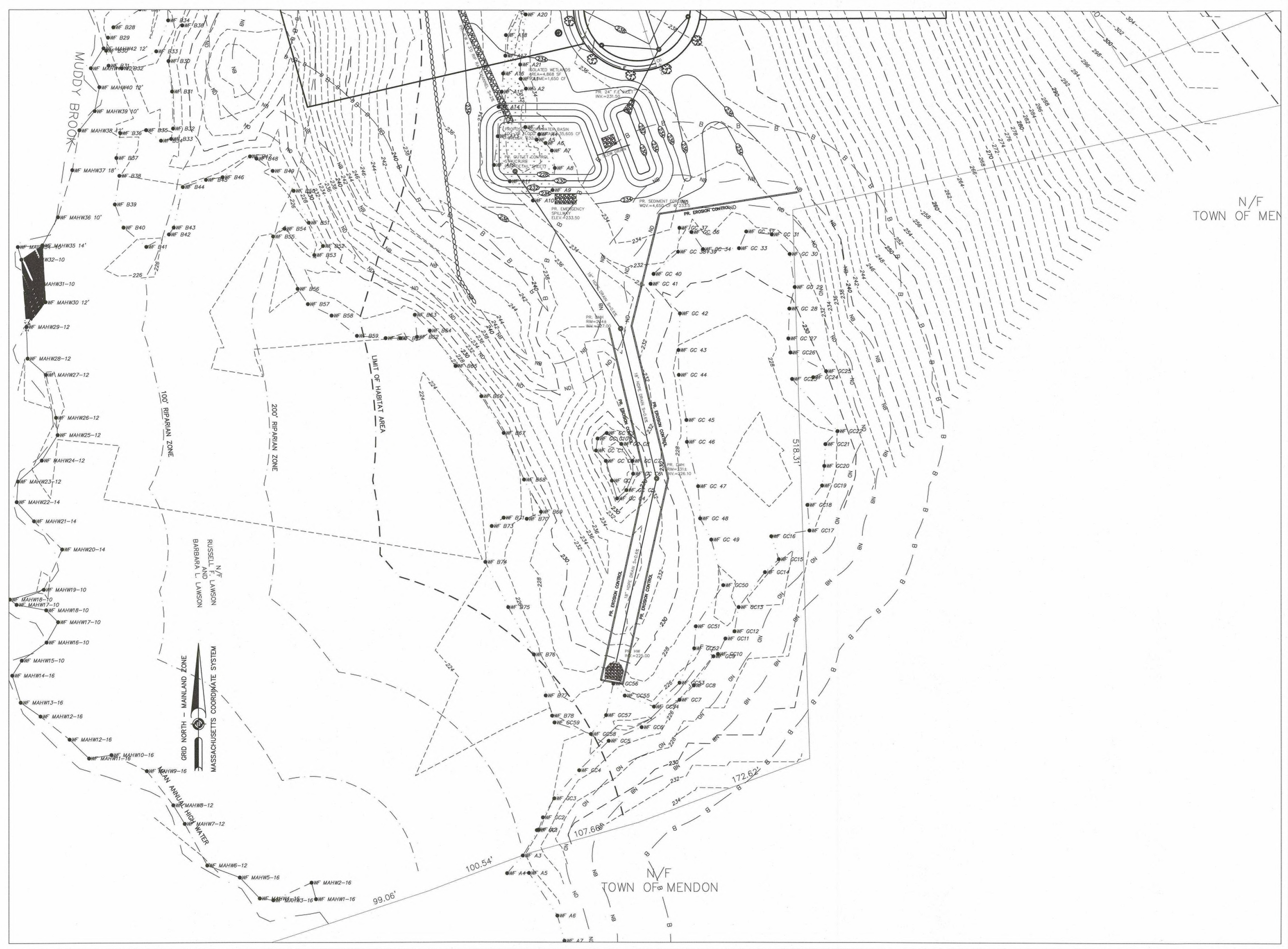
OPEN SPACE CALCULATIONS

TOTAL PROJECT AREA = 30.74 AC.
 PROPOSED OPEN AREA = 21.73 AC. (70.6%)
 WETLANDS OPEN SPACE = 7.60 AC. (35%)

#	DATE	DESCRIPTION	INIT
OWNER			
D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757			
APPLICANT			
D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757			

"MUDDY BROOK ESTATES"
 PROPOSED GRADING & UTILITIES PLAN
 IN
 MENDON, MA
 SCALE: 40 FEET TO AN INCH
 DATE: SEPTEMBER 13, 2021

Guerriere & Halnon, Inc.
 Engineering & Land Surveying
 333 WEST STREET, MILFORD, MASS. 01757
 (508) 473-6630 FAX: (508) 473-8243



DATE: 9-13-21
 APPROVED DATE: MENDON PLANNING BOARD

SIGNATURE DATE: BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"
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 CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

LEGEND

- - - 256 - - - EXISTING CONTOUR
- - - - - PROP. CONTOUR
- PROP. DRAIN LINE
- PROP. CATCH BASIN
- UNDERGROUND UTILITIES
- PROP. UTILITY/LIGHT POLE
- PROP. STREET TREE
- DEEP TEST HOLE
- EXIST. STONEWALL
- WETLANDS LINE
- WETLANDS FLAG
- WETLANDS SYMBOL
- MEAN ANNUAL HIGH WATER
- 100' WETLANDS BUFFER
- NO DISTURB LINE
- NO BUILD LINE
- PROPOSED RIP RAP

#	DATE	DESCRIPTION	INIT
OWNER			
		D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757	
APPLICANT			
		D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757	

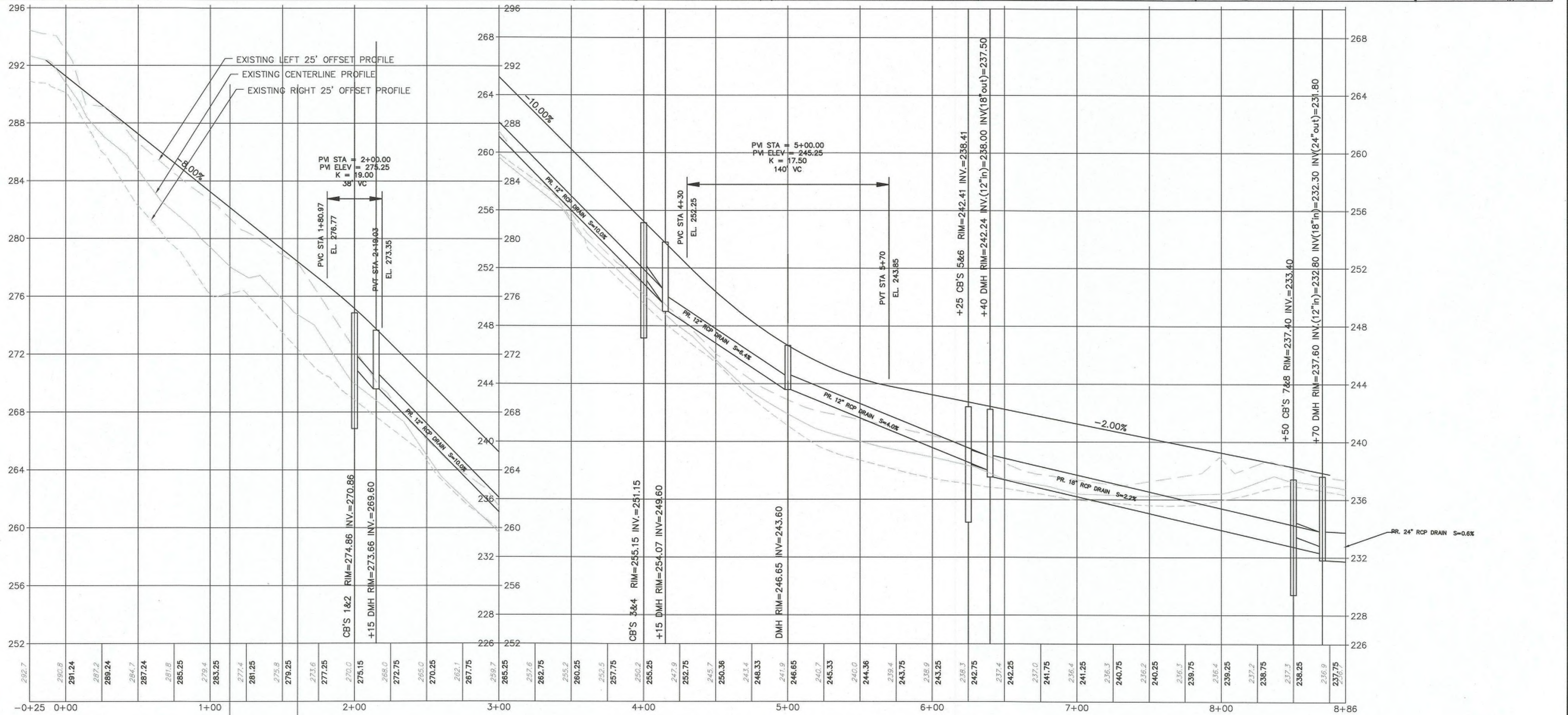
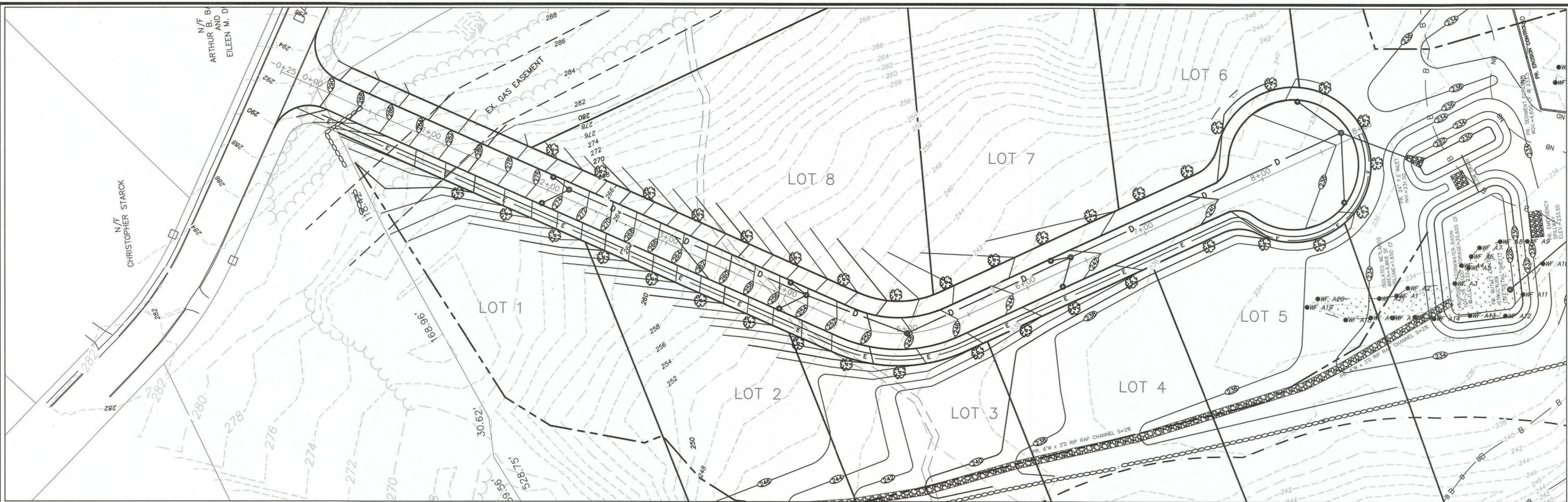
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PROPOSED GRADING & UTILITIES PLAN

IN
MENDON, MA

SCALE: 40 FEET TO AN INCH
 DATE: SEPTEMBER 13, 2021

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 (508) 473-6630 FAX: (508) 473-8243



COMMONWEALTH OF MASSACHUSETTS
 ELIZABETH A. MAHONEY-SANCIONI
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 48296
 DATE: 9-13-21

COMMONWEALTH OF MASSACHUSETTS
 JEFFREY J. STEFANIK
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 53070
 DATE: 9-13-21

MENDON PLANNING BOARD

SIGNATURE DATE: _____
 BEING A MAJORITY

NOTES

- CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
- "WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

LEGEND

- 256 --- EXISTING CONTOUR
- 255 --- PROP. CONTOUR
- D --- PROP. DRAIN LINE
- M --- PROP. DRAIN MANHOLE
- CB --- PROP. CATCH BASIN
- U --- UNDERGROUND UTILITIES
- P --- PROP. UTILITY/LIGHT POLE
- T --- PROP. STREET TREE
- S --- DEEP TEST HOLE
- W --- EXIST. STONEWALL
- WF-61 --- WETLANDS LINE
- WF-MAHW-14 --- WETLANDS FLAG
- W --- WETLANDS SYMBOL
- MAHW --- MEAN ANNUAL HIGH WATER
- 100' --- 100' WETLANDS BUFFER
- --- NO DISTURB LINE
- --- NO BUILD LINE
- --- PROPOSED RIP RAP

#	DATE	DESCRIPTION	INIT
OWNER			
		D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757	
APPLICANT			
		D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757	

"MUDDY BROOK ESTATES"

PLAN AND PROFILE
 IN
 MENDON, MA

SCALE: 40 FEET TO AN INCH (HORIZ.)
 SCALE: 4 FEET TO AN INCH (VERT.)
 DATE: SEPTEMBER 13, 2021

Guerriere & Halnon, Inc.
 Engineering & Land Surveying
 333 WEST STREET, MILFORD, MASS. 01757
 (508) 473-6630 FAX: (508) 473-8243

G:\CSD\Milford\G-10275\DWG\Definitive\Open Space Development 8-19-21.dwg



GRID NORTH - MAINLAND ZONE
MASSACHUSETTS COORDINATE SYSTEM



DATE: 9-13-21
APPROVED DATE:
MENDON PLANNING BOARD

SIGNATURE DATE:
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.
CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).
EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

#	DATE	DESCRIPTION	INIT
		OWNER	

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189 MAIN STREET
MILFORD, MA 01757

APPLICANT
D & F AFONSO BUILDERS
189 MAIN STREET
MILFORD, MA 01757

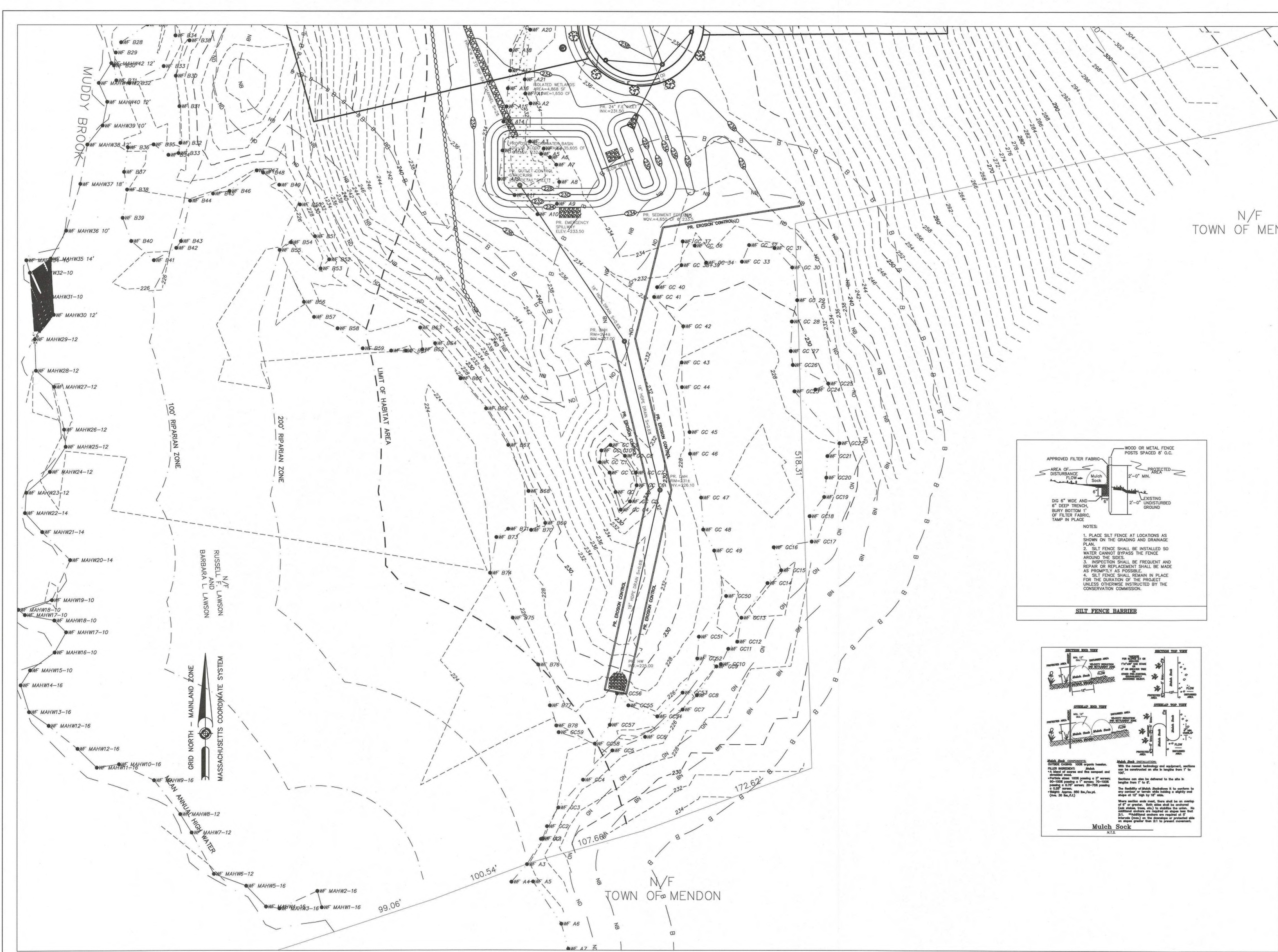
"MUDDY BROOK ESTATES"

PROPOSED DEVELOPMENT PLAN

IN
MENDON, MA

SCALE: 40 FEET TO AN INCH
DATE: SEPTEMBER 13, 2021

Guerriere & Halnon, Inc.
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(508) 473-6630 FAX: (508) 473-8243



DATE: 9-13-21
 APPROVED DATE: MENDON PLANNING BOARD

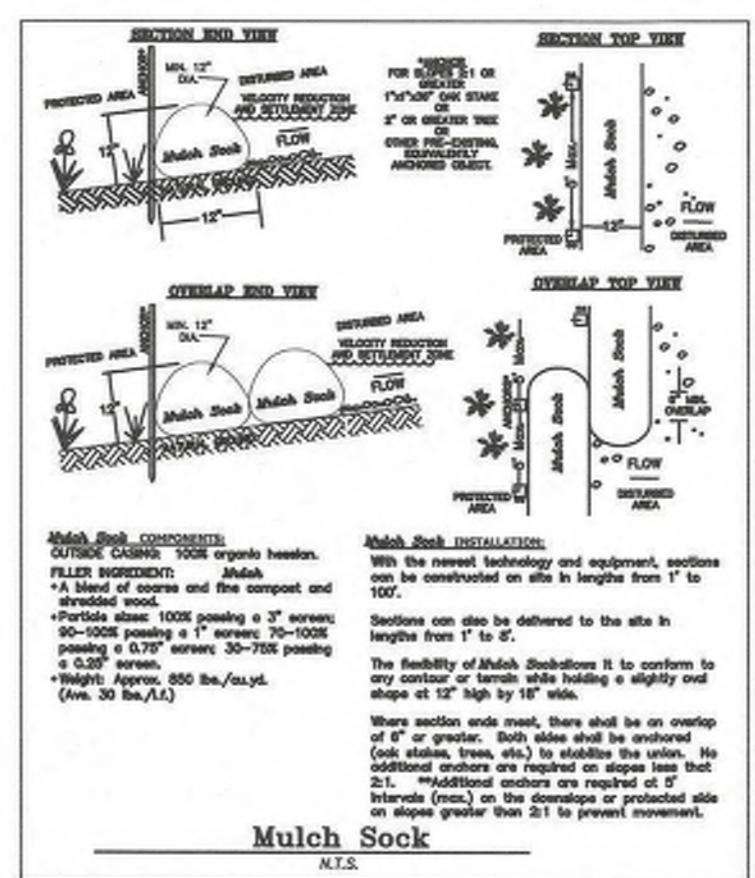
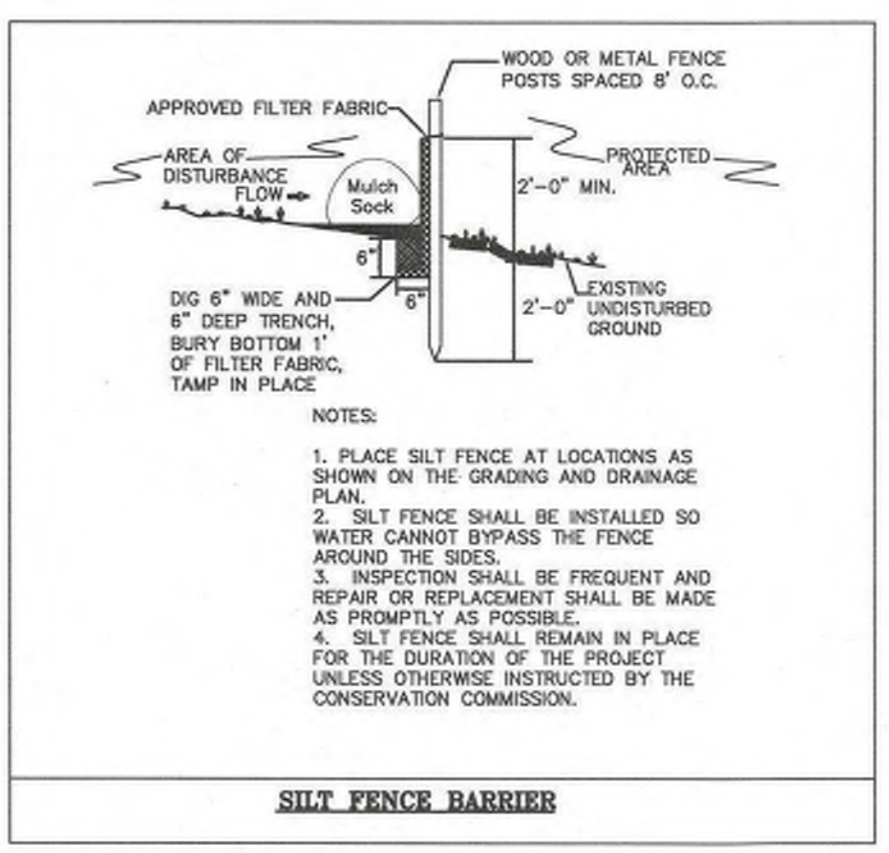
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NOTES



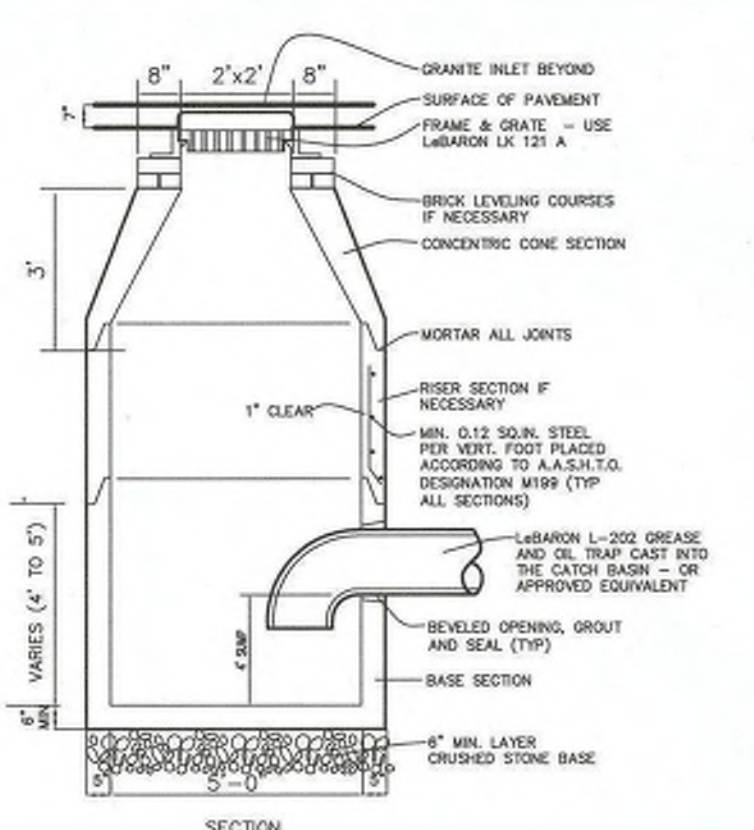
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		D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757	
		APPLICANT	
		D & F AFONSO BUILDERS 189 MAIN STREET MILFORD, MA 01757	

"MUDDY BROOK ESTATES"

PROPOSED EROSION CONTROL PLAN

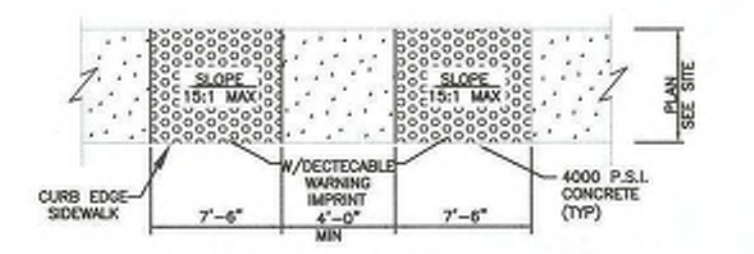
IN
 MENDON, MA
 SCALE: 40 FEET TO AN INCH
 DATE: SEPTEMBER 13, 2021

Guerriere & Halnon, Inc.
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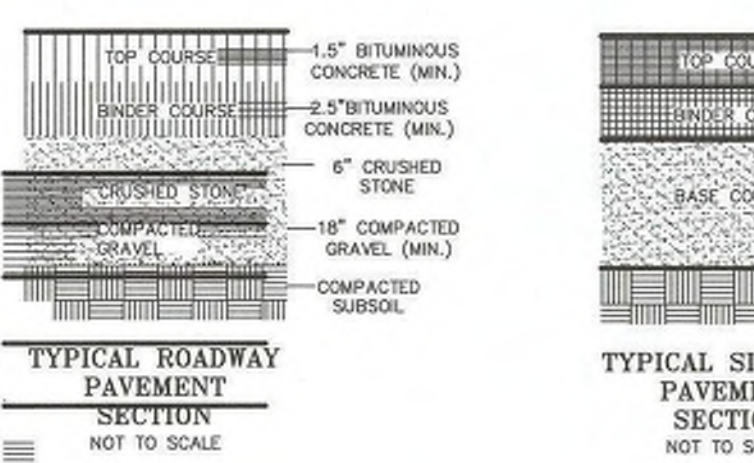


PRECAST CONCRETE CATCH BASIN
NOT TO SCALE

- NOTES:
- PIPE OPENINGS TO BE PRECAST IN CATCH BASIN SECTIONS.
 - SURFACE OF FRAME AND GRATE TO SLOPE DOWN 1" FROM FRONT TO REAR.
 - FACE OF FRAME TO BE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTRELINE OF PIPE.

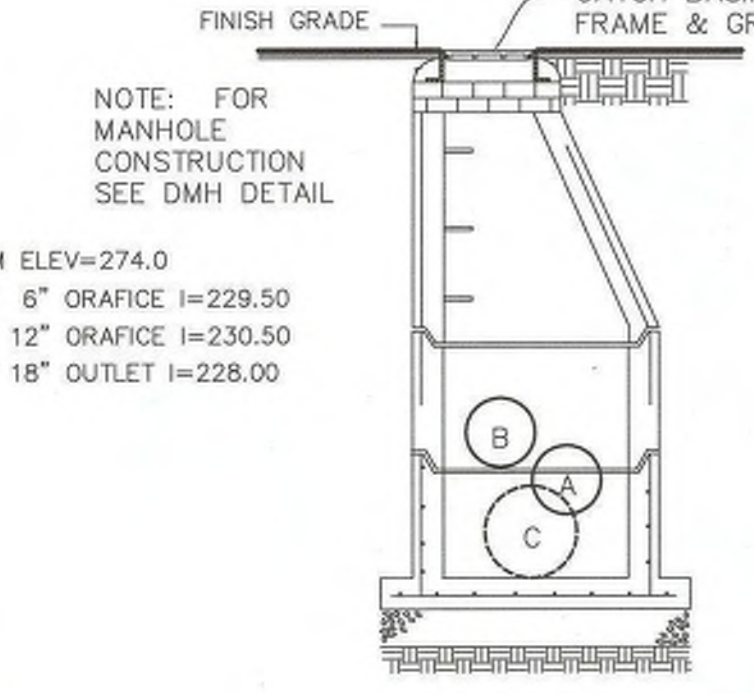


HANDICAP RAMP DETAIL
NO SCALE

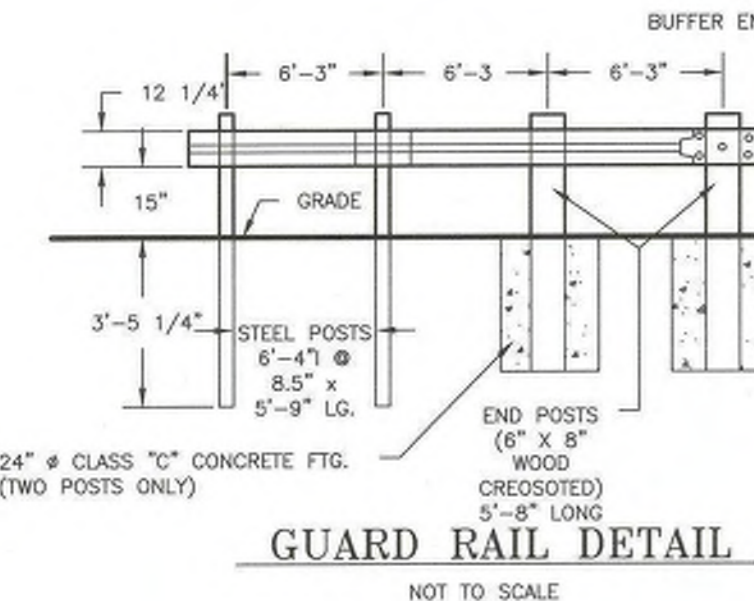


TYPICAL ROADWAY PAVEMENT SECTION
NOT TO SCALE

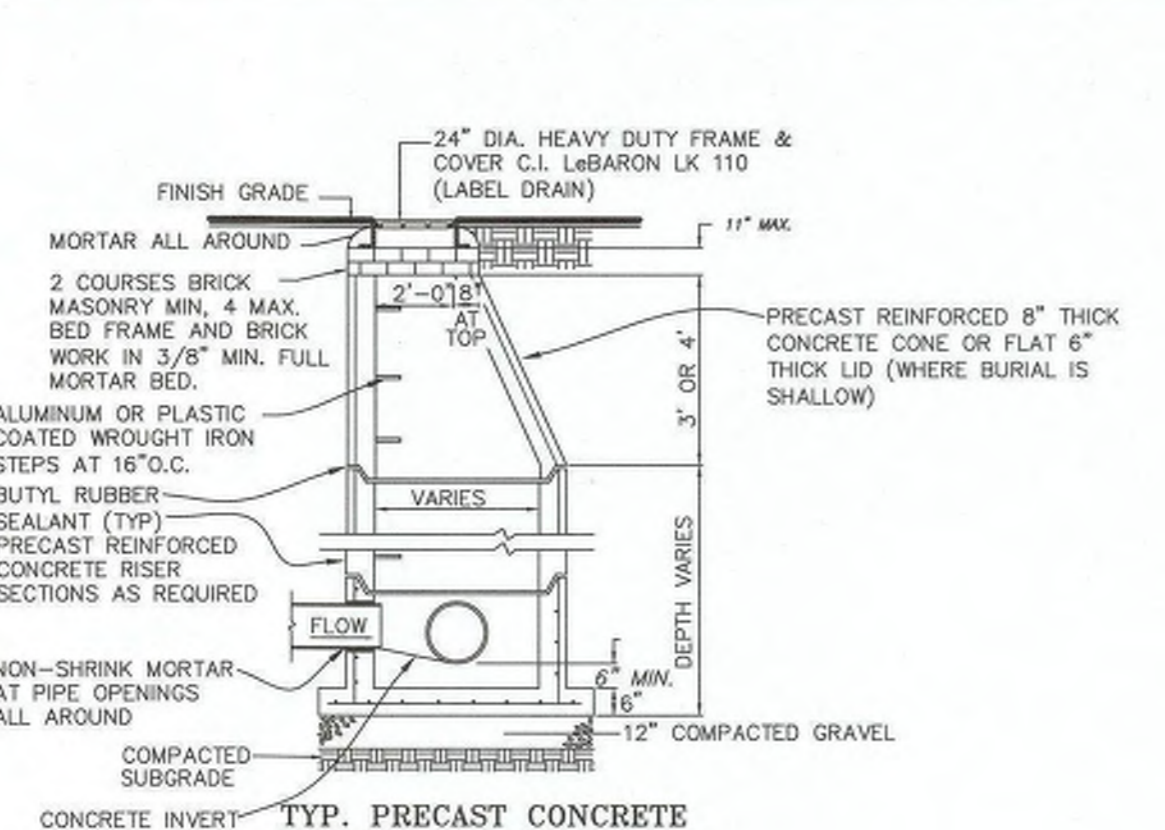
TYPICAL SIDEWALK PAVEMENT SECTION
NOT TO SCALE



DETENTION BASIN-1 OUTLET CONTROL STRUCTURE
N.T.S.

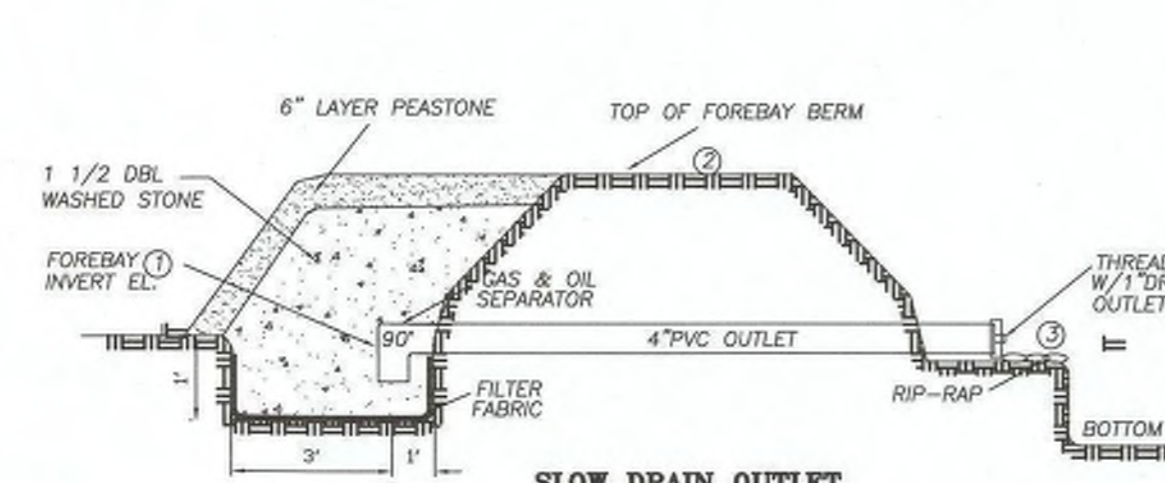


GUARD RAIL DETAIL
NOT TO SCALE



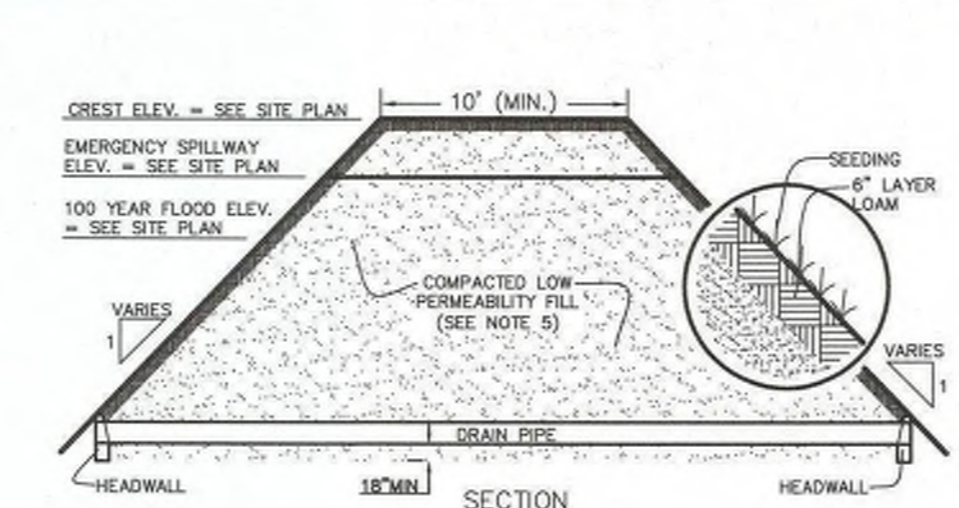
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN
N.T.S.

- NOTES:
- ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. C478.



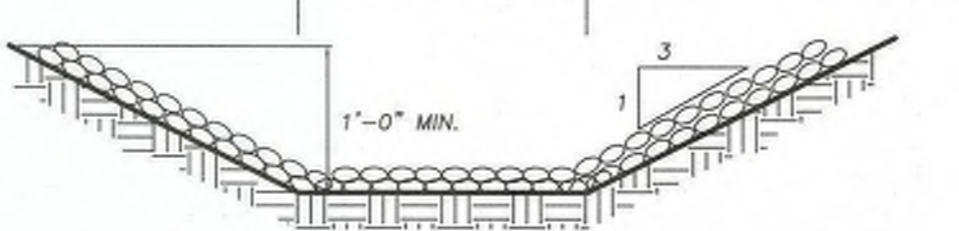
SLOW DRAIN OUTLET
N.T.S.

SLOW DRAIN OUTLET TABLE			
WATER QUALITY BASIN/FOREBAY	MIN. INVERT EL.	TOP OF RAMP OF 1/2" SLOPE	MIN. DEPTH OF 1/2" SLOPE
FOREBAY#1	230.0	234.0	230.0



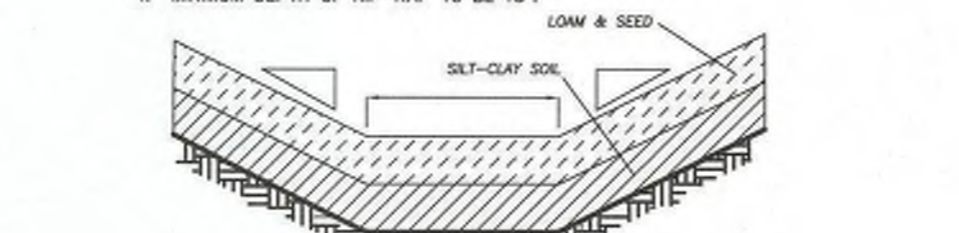
EARTH DIKE
NOT TO SCALE

- NOTES:
- ALL WORK TO BE STAKED AND INSPECTED BY THE DESIGN ENGINEER.
 - AREA UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 - NO PIPES SHALL BE LAD ON ROCK. ALL ROCK SHALL BE OVER EXCAVATED TO A MINIMUM OF 18" BELOW THE PROPOSED INVERT AND BE REPLACED BY COMPACTED LOW PERMEABILITY FILL.
 - ALL STRUCTURES TO MEET A.S.T.M. C 478 LATEST REVISION.
 - COMPACTED LOW PERMEABILITY FILL MATERIAL SHALL BE WELL GRADED, SILTY, GRAVELLY SAND WITH A MINIMUM OF 10% PASSING NO. 60, AND SHALL BE FREE OF STONES GREATER THAN 6" IN DIAMETER, ORGANIC MATTER, CONSTRUCTION DEBRIS, SNOW OR FROZEN SOIL. MATERIALS SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN THICKNESS, AND SHALL BE COMPACTED BY CONTINUOUS PASSES OF HEAVY ROLLERS, HAULING EQUIPMENT AND APPROPRIATE COMPACTORS. MINIMUM DEGREE OF COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY AS SPECIFIED BY A.S.T.M. D 1557 C.
 - 10 FT. WIDE EMERGENCY SPILLWAY TO BE RIP-RAPPED WITH VARYING SIDE SLOPES. (SEE SITE PLAN).
 - THE EMBANKMENT WILL BE CONSTRUCTED TO THE DESIGN ELEVATION PLUS 0.5 FT. TO ALLOW FOR SETTLEMENT.
 - A MINIMUM OF 2 FT. OF COMPACTED BACKFILL SHALL BE PLACED OVER THE CONDUIT BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
 - S.C.S. APPROVED SEED MIX TO BE SPREAD AS SOON AS IS PRACTICAL TO MINIMIZE EROSION.

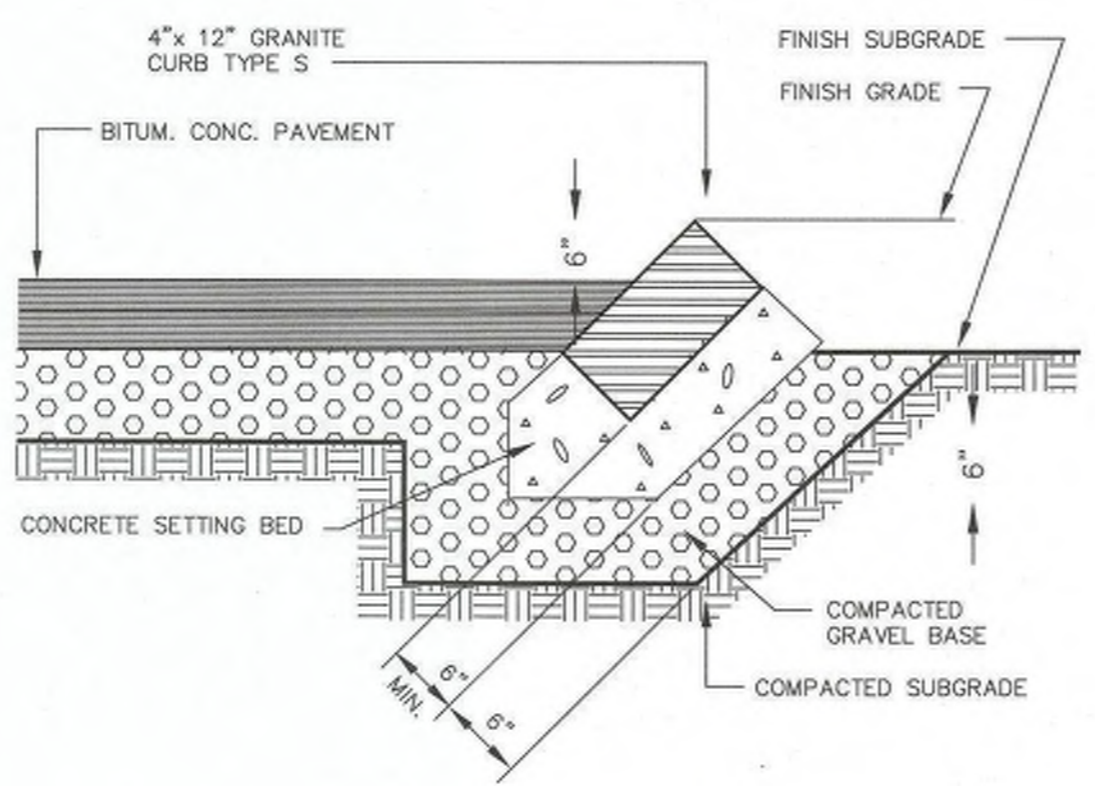


EMERGENCY SPILLWAY DETAIL
N.T.S.

- NOTES:
- FILTER MATERIAL BENEATH RIP-RAP UNLESS BANK IS OF GRAVEL AND COARSE SAND MIX. (5" MIN. THICKNESS).
 - MINIMUM WEIGHT OF STONE = 50 LBS.; MAXIMUM WEIGHT = 125 LBS.
 - 75% OF TOTAL STONE VOLUME TO BE MIN. 7.5 LB. STONES.
 - MINIMUM DEPTH OF RIP-RAP TO BE 18".

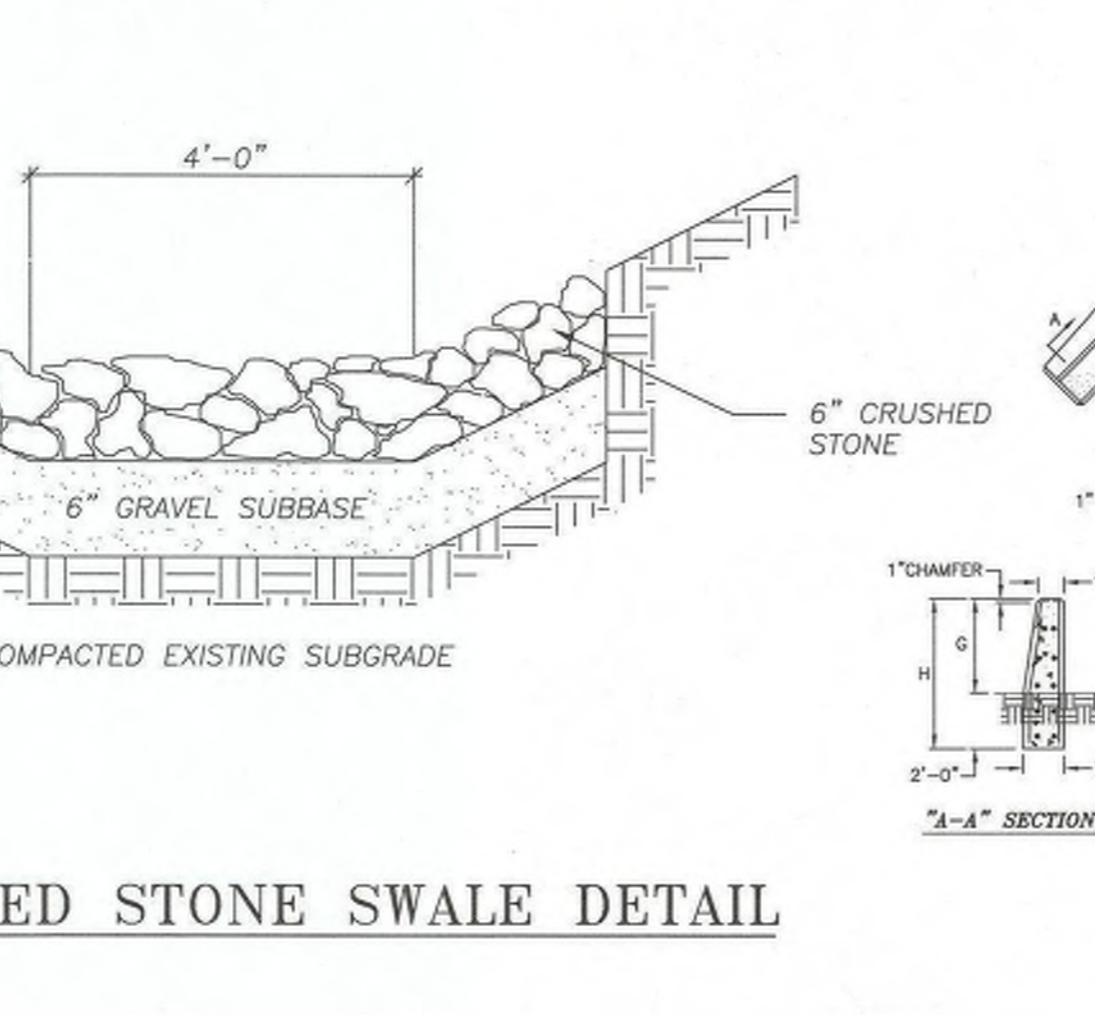


CROSS SECTION FIRST FLUSH FOREBAY
N.T.S.

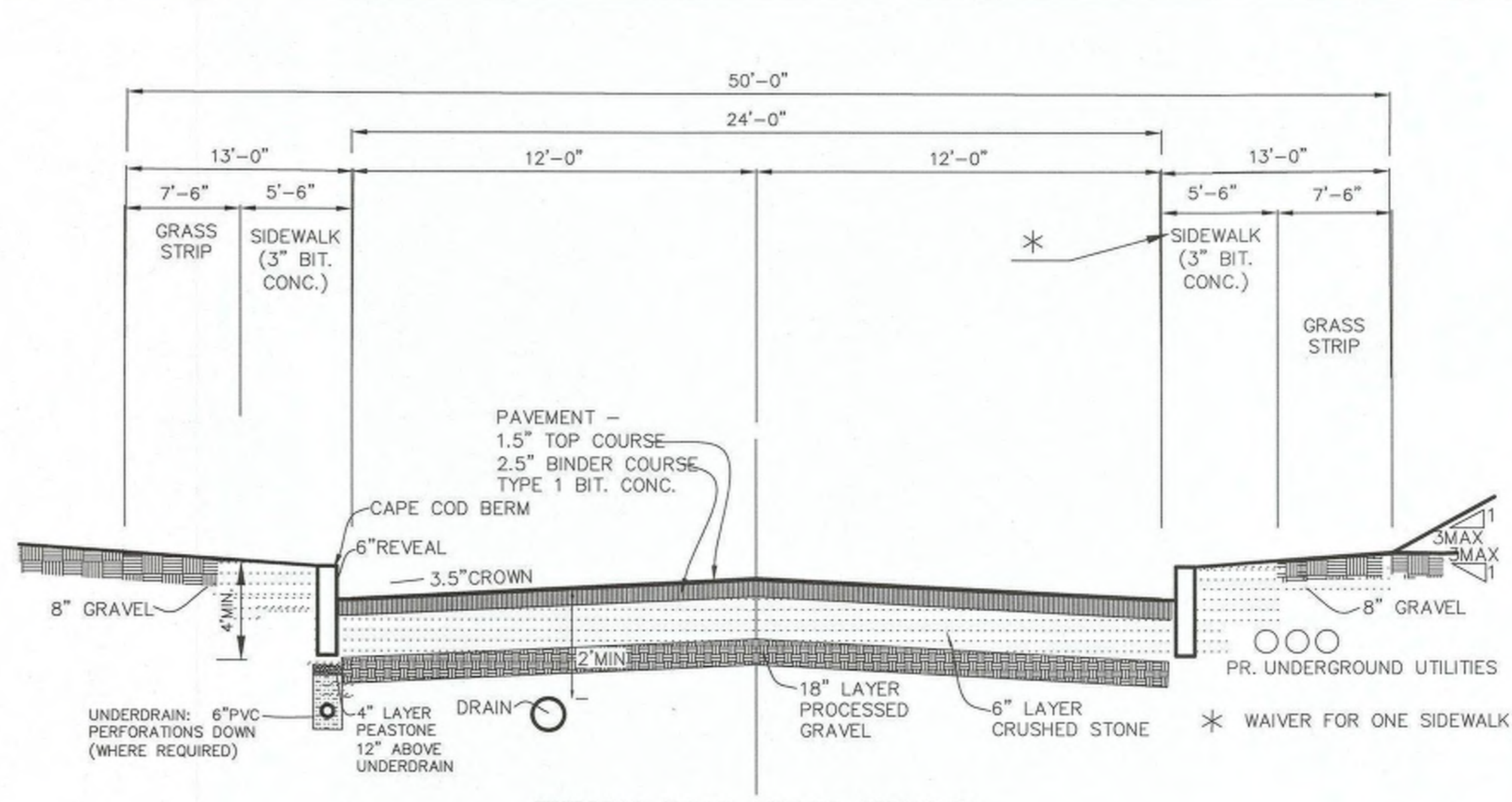


TYP. SLOPED GRANITE EDGING DETAIL
N.T.S.

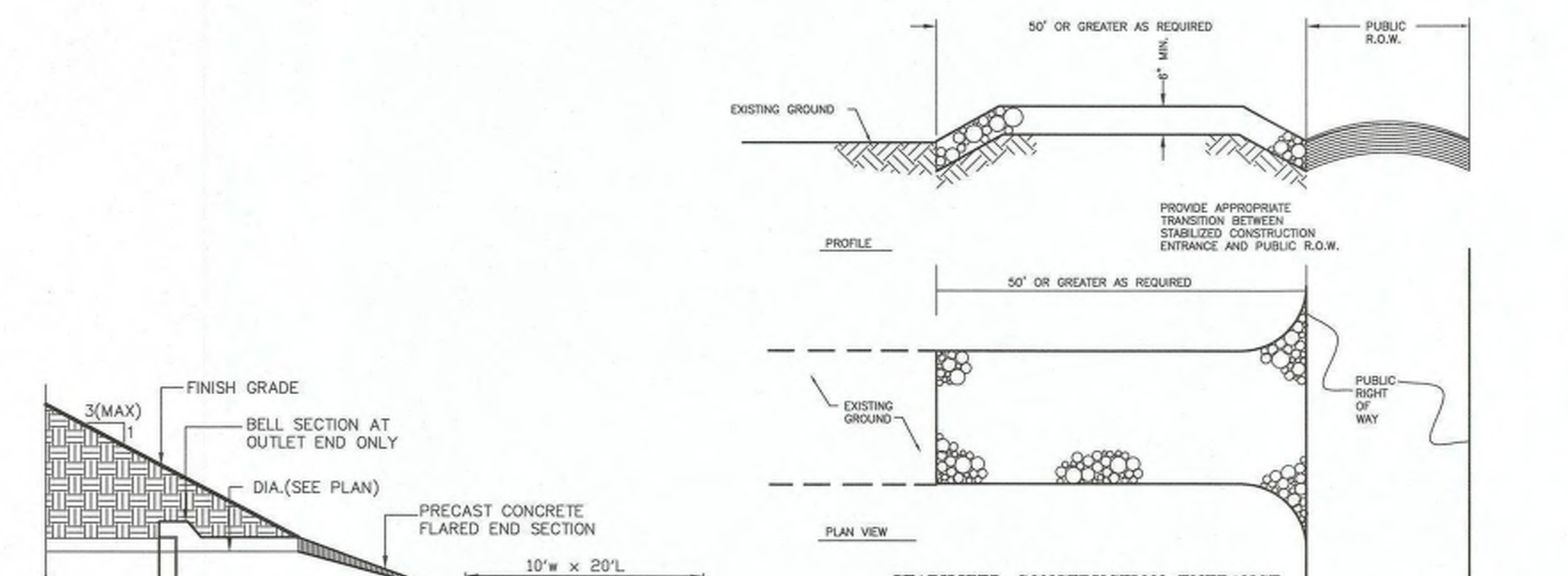
TYP. SLOPED GRANITE EDGING DETAIL
N.T.S.



CRUSHED STONE SWALE DETAIL
N.T.S.



TYPICAL ROAD CROSS SECTION
NOT TO SCALE



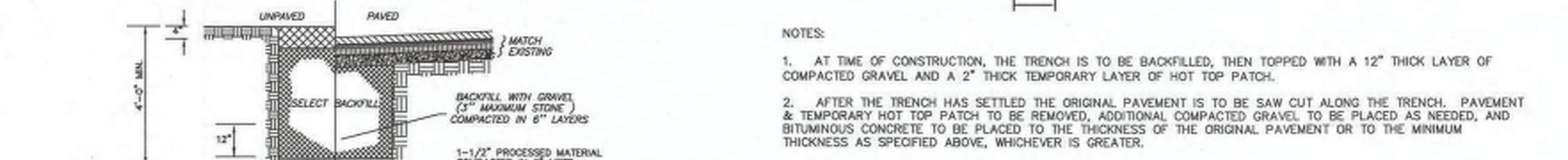
TYPICAL PRECAST CONCRETE FLARED END SECTION DETAIL
N.T.S.

- NOTES:
- INSTALL PROCESSED MATERIAL COMPACTED AT SLOPE OF PIPE.
 - BACKFILL TO HAUNCH OF PIPE AND COMPACT.
 - BACKFILL 12" ABOVE PIPE AND COMPACT.



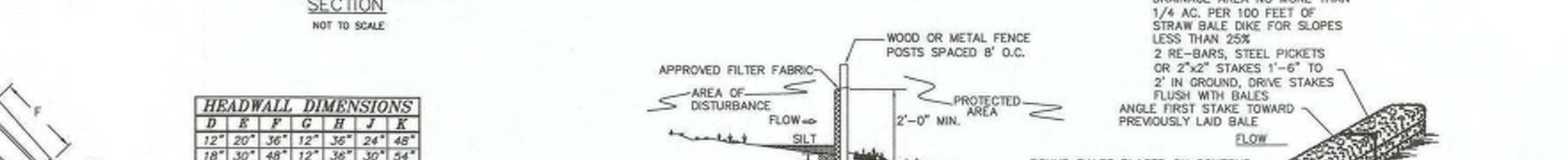
TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE
NOT TO SCALE

- NOTES:
- AT TIME OF CONSTRUCTION, THE TRENCH IS TO BE BACKFILLED, THEN TOPPED WITH A 12" THICK LAYER OF COMPACTED GRAVEL AND A 2" THICK TEMPORARY LAYER OF HOT TOP PATCH.
 - AFTER THE TRENCH HAS SETTLED, THE ORIGINAL PAVEMENT IS TO BE SAW CUT ALONG THE TRENCH. PAVEMENT & TEMPORARY HOT TOP PATCH TO BE REMOVED, ADDITIONAL COMPACTED GRAVEL TO BE PLACED AS NEEDED, AND BITUMINOUS CONCRETE TO BE PLACED TO THE THICKNESS OF THE ORIGINAL PAVEMENT OR TO THE MINIMUM THICKNESS AS SPECIFIED ABOVE, WHICHEVER IS GREATER.



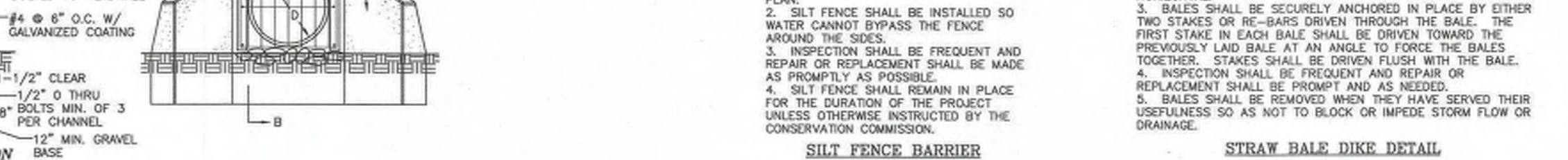
TYPICAL H.D.P.E. TRENCH SECTION
NOT TO SCALE

- NOTES:
- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
 - SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
 - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 - INSPECTION SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSTRUCTION COMMISSION.

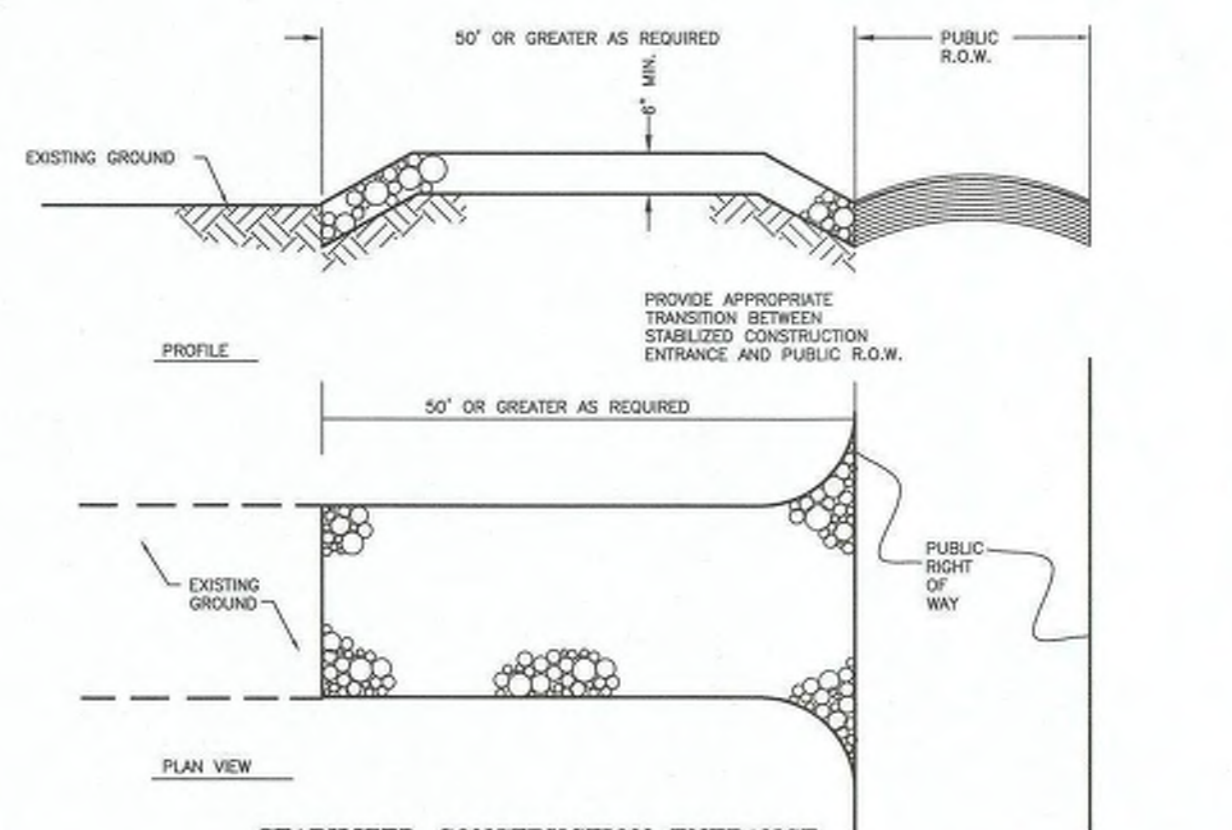


TYP. CONCRETE HEADWALL DETAIL
N.T.S.

- NOTE: DEBRIS GRATE REQUIRED ON ALL PIPES WITH A DIAMETER GREATER THAN 36"

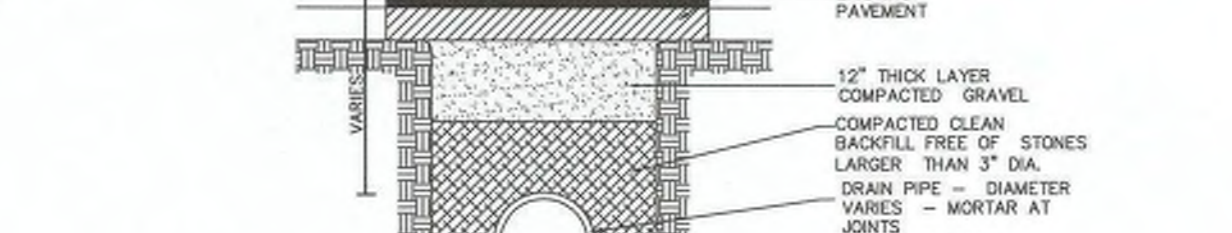


EROSION CONTROL DEVICE OPTIONS
N.T.S.



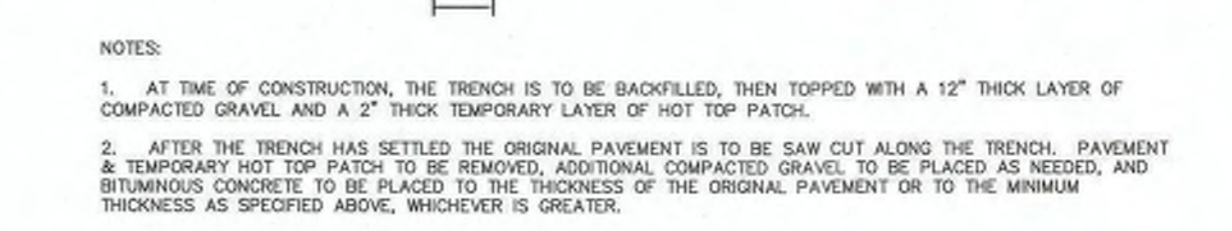
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

- NOTES:
- 1" THICK MIN. TOP COURSE (SEE NOTE 2)
 - 2" THICK MIN. BASE COURSE (SEE NOTE 2)



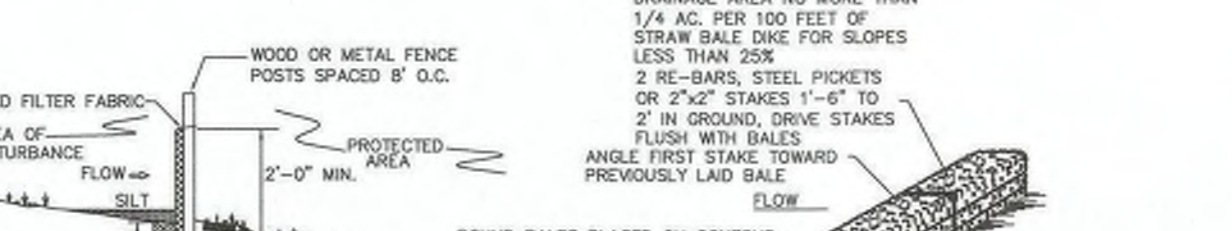
TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE
NOT TO SCALE

- NOTES:
- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH BAYS TIGHTLY ADJUTING THE ADJACENT BALES.
 - EACH BALE SHALL BE PLACED SO THE BINDING ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY Laid BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE PROMPT AND AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.



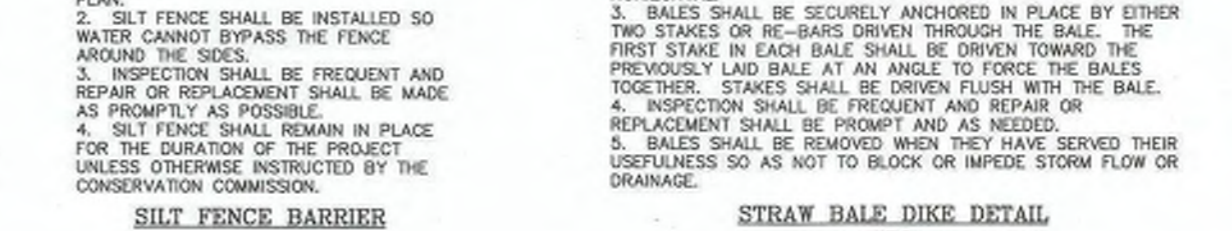
TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE
NOT TO SCALE

- NOTES:
- DRAINAGE AREA NO MORE THAN 1/4 AC. PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%.
 - 2 RE-BARS, STEEL PICKETS OR 2"x2" STAKES 1'-6" TO 2' IN GROUND, DRIVE STAKES FLUSH WITH BALES.
 - ANGLE FIRST STAKE TOWARD PREVIOUSLY Laid BALE.
 - BOUND BALES PLACED ON CONTOUR.



TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE
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TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE
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APPLICANT: D & F AFONSO BUILDERS, 189 MAIN STREET, MILFORD, MA 01757

PROJECT: MUDDY BROOK ESTATES

DETAILS PLAN OF LAND IN MENDON, MA

NOT TO SCALE

ENGINEERING & LAND SURVEYING

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PH. (508) 473-6630, FX. (508) 473-8243, www.gandhengineering.com

SHEET 14 OF 14

G-10275