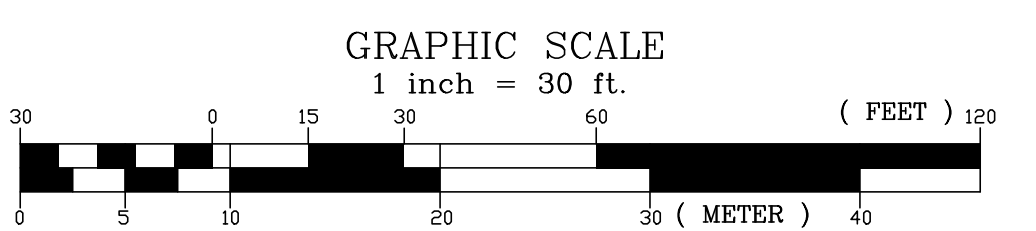


REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.E.(CIVIL) # 31967
 P.L.S. # 37046



ZONING:
 HB-HIGHWAY BUSINESS
 ALL PERMITTED USES
 MINIMUM AREA= 40,000 SQUARE FEET
 MINIMUM FRONTAGE= 200 FEET
 SETBACKS:
 FRONT YARD= 50 FEET
 SIDE YARD= 20 FEET
 REAR YARD= 20 FEET
 MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
 MAXIMUM LOT COVERAGE= 30%

PROPOSED PARKING REQUIREMENTS

PROPOSED USE	FLOOR AREA	PARKING REQUIREMENT	TOTAL
PROPOSED BUILDING	31,200 SQUARE FEET	1 SPACE PER 1000 S.F. OF FLOOR AREA	31.2
TOTAL NUMBER OF REQUIRED PARKING SPACES			32
TOTAL NUMBER OF PROPOSED PARKING SPACES			51

PARKING REQUIREMENTS TAKEN FROM SECTION 2.03 (b) OF TOWN OF MENDON ZONING BYLAWS.


ZONING TABLE: 35 CAPE ROAD
 MAP 114, BLOCK 114, LOT 35

DESCRIPTION	REQUIRED HIGHWAY BUSINESS		EXISTING	PROPOSED
	MIN.	MAX.		
LOT AREA	40,000 SQ. FT. (MIN.)	182,166 SQ. FT.	182,166 SQ. FT.	182,166 SQ. FT.
LOT FRONTAGE	200 FT. (MIN.)	240.44 FT.	240.44 FT.	240.44 FT.
FRONT YARD SETBACK	50 FT. (MIN.)	14.0 FT.	83.9 FT.	83.9 FT.
SIDE YARD SETBACK	20 FT. (MIN.)	44.7 FT.	59.0 FT.	59.0 FT.
REAR YARD SETBACK	20 FT. (MIN.)	665.6 FT.	408.5 FT.	408.5 FT.
MAX BUILDING HEIGHT	35 FT. (2.5 STORIES)	2.0 STORIES	18 FT. 1 (STORY)	18 FT. 1 (STORY)
FLOOR AREA	N.A.	4,904 SQ. FT.	31,200 SQ. FT.	31,200 SQ. FT.
FLOOR AREA RATIO	N.A.	0.027% (2.7%)	0.171 (17.1%)	0.171 (17.1%)
MAX. BUILDING COVERAGE	N.A.	0.020 (2.0%)	0.171 (17.1%)	0.171 (17.1%)
BUILDING AREA	N.A.	3,594 SQ. FT.	31,200 SQ. FT.	31,200 SQ. FT.
OTHER IMPERVIOUS SURFACES	N.A.	20,579 SQ. FT.	63,239 SQ. FT.	63,239 SQ. FT.
TOTAL IMPERVIOUS AREA	N.A.	24,173 SQ. FT.	94,439 SQ. FT.	94,439 SQ. FT.
PARKING	N.A.	32 SPACES	0 SPACES	51 SPACES
HANDICAP PARKING	N.A.	3 SPACES	0 SPACES	4 SPACES
UPLAND AREA	N.A.	182,166 SQ. FT.	182,166 SQ. FT.	182,166 SQ. FT.

PROPOSED SITE PLAN
 #35 CAPE ROAD
 IN
 MENDON, MASS

PREPARED FOR:
 ARES CONSTRUCTION
 38 PHEASANT LANE
 MANCHESTER, NH 03109

PROPERTY OF:
 WENGER REALTY, LLC
 1040 SOUTH MAIN STREET
 BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
 METROWEST ENGINEERING, INC.
 75 FRANKLIN STREET
 FRAMINGHAM, MA 01702
 TELE: (508)626-0063
 EMAIL: INFO@MWENGINEERING.COM

SHEET 1 OF 1 DATE: JANUARY 4, 2021

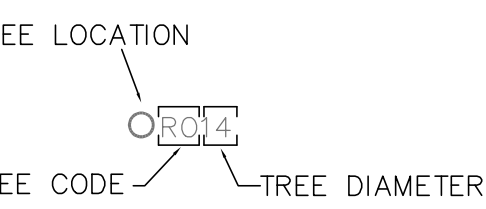
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 DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 14, BLOCK 114, LOT 35. RECORD TITLE FROM DEED BOOK 55043, PAGE 261.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
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TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BW	BLACK WALNUT
QA	QUAKING ASPEN
DEC	DECIDUOUS
HK	HEMLOCK
HOL	HOLLY
JM	JAPANESE MAPLE
PR	PEAR
RM	RED MAPLE
RO	RED OAK
RP	RED PINE
SM	SUGAR MAPLE
SNAG	SNAG
WA	WHITE ASH
WP	WHITE PINE
DBL	DOUBLE






LEGEND



A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BAY WINDOW
C.B.K.	CENTER BACK
CHD	CHORD LENGTH
CHD BRG	CHORD BEARING
D.H.	DRILL HOLE
DIAM.	DIAMETER
D.Y.L.	DOUBLE YELLOW LINE
E.O.P.	EDGE OF PAVEMENT
(F)	FOUND
G.F.E.	GARAGE FLOOR ELEVATION
L	LENGTH
L.P.	LIGHT POST
M.H.B.	MASS. HIGHWAY BOUND
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
SP	STONE POST
R	RADIUS
S.W.L.	SINGLE WHITE LINE
U.P.#	UTILITY POLE
W.F.	WOOD FRAME
W.G.	WATER GATE
Δ	DELTA
+100.0	EXISTING SPOT GRADE
-100.0	EXISTING GRADING
W	EXISTING WATERLINE

PROPOSED PLANTING SCHEDULE

TREES

SYMBOL	SPECIES	QUANTITY	SIZE AT PLANTING
	RED MAPLE (ACER RUBRUM)	5	2" CALIPER
	HONEYLOCUST (GLEDTISIA TRIACANTHOS)	2	2" CALIPER
	RED OAK (QUERCUS RUBRA)	5	2" CALIPER

SHRUBS

SYMBOL	SPECIES	QUANTITY	SIZE AT PLANTING
	RED-OSIER DOGWOOD (CORNUS SERICEA)	10	2-4'
	FLOWERING CRABAPPLE (MALUS SP.)	5	2-4'



ZONING:

HB-HIGHWAY BUSINESS
ALL PERMITTED USES

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REAR YARD= 20 FEET
MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
MAXIMUM LOT COVERAGE= 30%

BENCHMARKS

T.B.M.	DESCRIPTION	ELEVATION
A	NAIL SET 1" UP IN 14" RED MAPLE	302.29'
B	NAIL SET 0.5" IN 12" RED MAPLE DOUBLE	307.83'
C	NAIL SET 1" UP ON U.P.#20	307.75'
D	NAIL SET 1" UP IN 12" WHITE PINE	311.48'

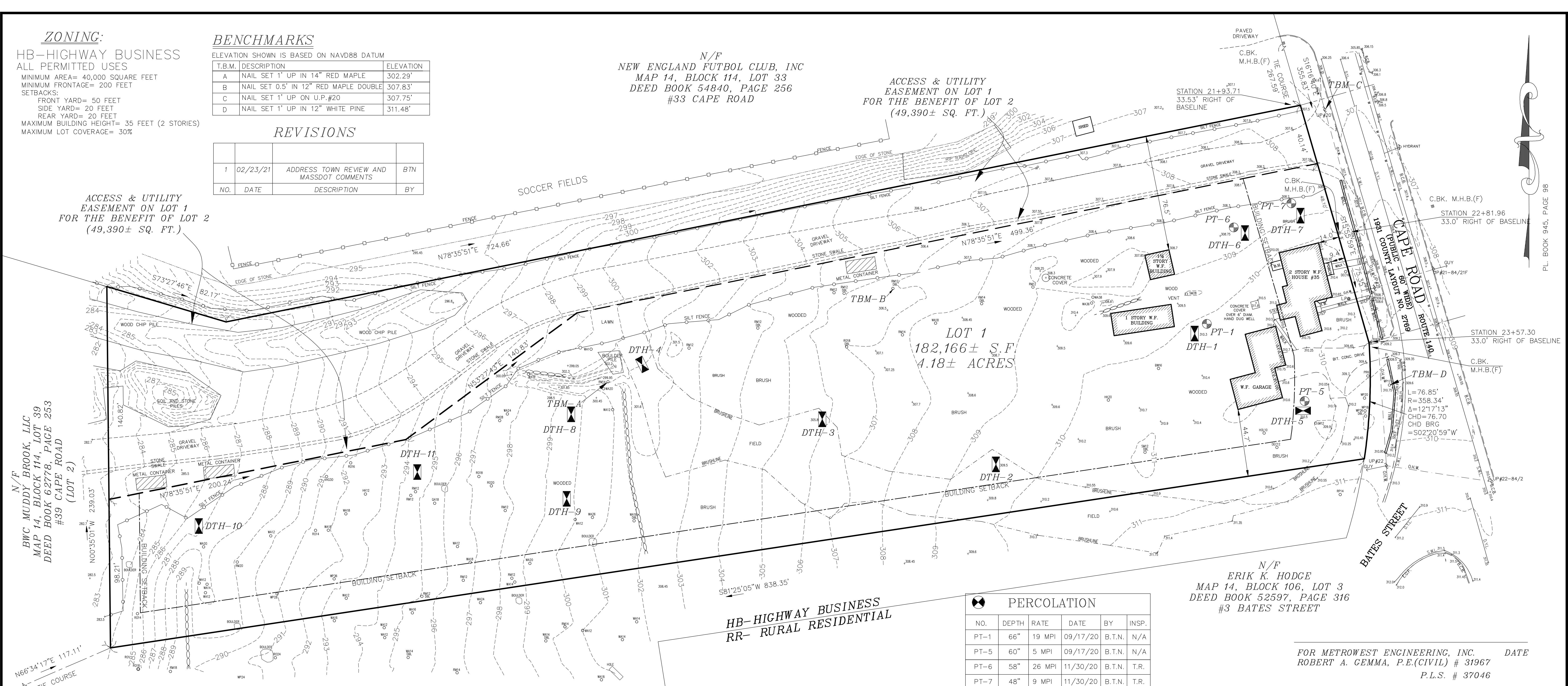
REVISIONS

NO.	DATE	DESCRIPTION	BY
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N/F
NEW ENGLAND FUTBOL CLUB, INC
MAP 14, BLOCK 114, LOT 33
DEED BOOK 54840, PAGE 256
#33 CAPE ROAD

ACCESS & UTILITY
EASEMENT ON LOT 1
FOR THE BENEFIT OF LOT 2
(49,390± SQ. FT.)

ACCESS & UTILITY
EASEMENT ON LOT 1
FOR THE BENEFIT OF LOT 2
(49,390± SQ. FT.)



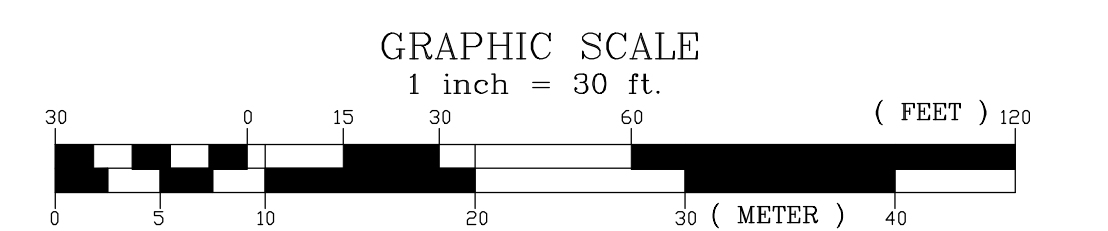
N/F
BWC MUDDY BROOK, LLC
MAP 14, BLOCK 114, LOT 39
DEED BOOK 62778, PAGE 253
#39 CAPE ROAD
(LOT 2)

N/F
ERIK K. HODGE
MAP 14, BLOCK 106, LOT 3
DEED BOOK 52597, PAGE 316
#3 BATES STREET

HB-HIGHWAY BUSINESS
RR- RURAL RESIDENTIAL

NO.	DEPTH	RATE	DATE	BY	INSP.
PT-1	66"	19 MPI	09/17/20	B.T.N.	N/A
PT-5	60"	5 MPI	09/17/20	B.T.N.	N/A
PT-6	58"	26 MPI	11/30/20	B.T.N.	T.R.
PT-7	48"	9 MPI	11/30/20	B.T.N.	T.R.

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046



HB-HIGHWAY BUSINESS
RR- RURAL RESIDENTIAL

TREE DESCRIPTION LEGEND

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SNAG	SNAG
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WP	WHITE PINE
DBL	DOUBLE

LEGEND

A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BULKHEAD
B.W.	BAY WINDOW
C.B.K.	CENTER BACK
CHD=	CHORD LENGTH
CHD BRG=	CHORD BEARING
D.H.	DRILL HOLE
DIAM.	DIAMETER
D.Y.L.	DOUBLE YELLOW LINE
E.O.P.	EDGE OF PAVEMENT
(F)	FOUND
G.F.E.	GARAGE FLOOR ELEVATION
L=	LENGTH
L.P.	LIGHT POST
M.H.B.	MASS. HIGHWAY BOUND
N/F	NOW OR FORMERLY
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S.W.L.	SINGLE WHITE LINE
U.P.#	UTILITY POLE
W.F.	WOOD FRAME
W.G.	WATER GATE
Δ	DELTA
+100.0	EXISTING SPOT GRADE
-100.0	EXISTING GRADING
W	EXISTING WATERLINE

SOIL LOGS No.	SOIL TEST RESULTS	SOIL LOGS No.	SOIL TEST RESULTS
D.T.H.-1 (ELEV=310.3')	0-12" Ap SANDY LOAM 10YR 3/2 12"-26" Bw SANDY LOAM 10YR 5/6 26"-52" C1 SANDY LOAM 2.5Y 5/2 52"-106" C2 SANDY LOAM 2.5Y 4/2	D.T.H.-2 (ELEV=309.6')	0-12" Ap SANDY LOAM 10YR 3/2 12"-30" Bw SANDY LOAM 10YR 5/6 30"-68" C1 SANDY LOAM 2.5Y 6/1 68"-132" C2 LOAMY SAND 2.5Y 5/2
D.T.H.-3 (ELEV=305.8')	NO REFUSAL MOTTLING @ 48", 7.5YR5/8 (POSSIBLY PERCHING WATER) NO STANDING OR WEEPING WATER ESTIMATED HIGH WATER=306.3'	D.T.H.-4 (ELEV=301.0')	NO REFUSAL MOTTLING @ 40"-48" (PERCHING WATER) NO STANDING OR WEEPING WATER ESTIMATED HIGH WATER=306.3'
D.T.H.-5 (ELEV=310.5')	0-10" Ap SANDY LOAM 10YR 3/2 10"-28" Bw SANDY LOAM 10YR 5/6 28"-40" C1 SANDY LOAM 2.5Y 5/2 40"-106" C2 SANDY LOAM 2.5Y 4/2	D.T.H.-6 (ELEV=308.8')	NO REFUSAL MOTTLING @ 56", 7.5YR5/8 NO STANDING OR WEEPING WATER ESTIMATED HIGH WATER=304.1'
D.T.H.-7 (ELEV=309.0')	NO REFUSAL MOTTLING @ 46", 7.5YR5/8 STANDING WATER @ 90" WEEPING WATER @ 88" ESTIMATED HIGH WATER=295.9'	D.T.H.-8 (ELEV=299.7')	NO REFUSAL MOTTLING @ 50" NO STANDING OR WEEPING WATER ESTIMATED HIGH WATER=304.8'
D.T.H.-9 (ELEV=303.5')	NO REFUSAL MOTTLING @ 86" NO STANDING OR WEEPING WATER ESTIMATED HIGH WATER=303.3'	D.T.H.-10 (ELEV=286.8')	NO REFUSAL MOTTLING @ 32", 7.5YR5/8 STANDING WATER @ 60" WEEPING WATER @ 40" ESTIMATED HIGH WATER=284.1'
D.T.H.-11 (ELEV=299.7')	NO REFUSAL MOTTLING @ 44", 7.5YR5/8 STANDING WATER @ 104" ESTIMATED HIGH WATER=296.0'	D.T.H.-11 (ELEV=294.3')	NO REFUSAL MOTTLING @ 36", 7.5YR5/8 STANDING WATER @ 80" WEEPING WATER @ 60" ESTIMATED HIGH WATER=291.3'

EXISTING CONDITIONS SITE PLAN

#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHEASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C100 INFO: JANUARY 4, 2021

CALC'D BY: PHA	FIELD BK: 712	CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN	PROJECT: MND_CAP	DWG FILE: SP010421_R1.dwg

PROTECTION OF STORMWATER MANAGEMENT AREAS DURING CONSTRUCTION:

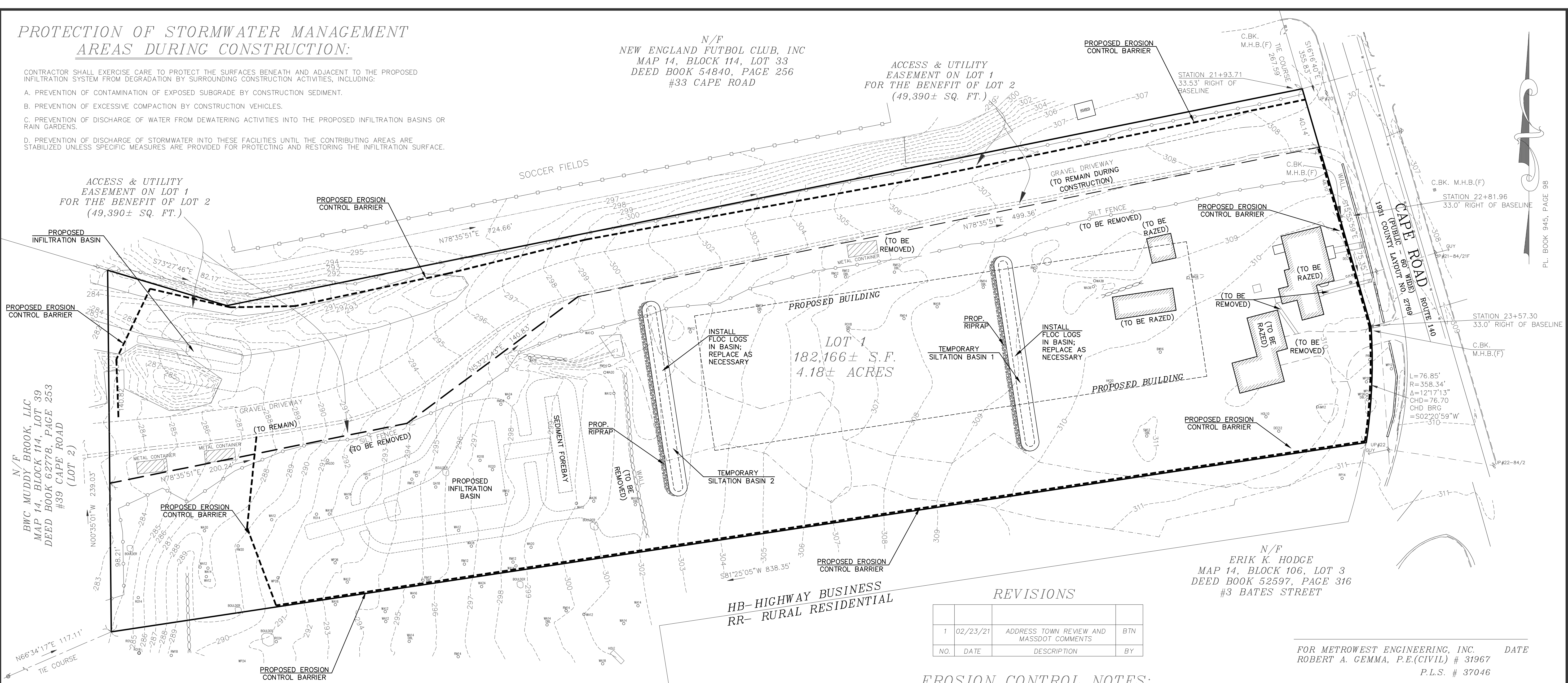
CONTRACTOR SHALL EXERCISE CARE TO PROTECT THE SURFACES BENEATH AND ADJACENT TO THE PROPOSED INFILTRATION SYSTEM FROM DEGRADATION BY SURROUNDING CONSTRUCTION ACTIVITIES, INCLUDING:

- PREVENTION OF CONTAMINATION OF EXPOSED SUBGRADE BY CONSTRUCTION SEDIMENT.
- PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
- PREVENTION OF DISCHARGE OF WATER FROM DEWATERING ACTIVITIES INTO THE PROPOSED INFILTRATION BASINS OR RAIN GARDENS.
- PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.

N/F
NEW ENGLAND FUTBOL CLUB, INC
MAP 14, BLOCK 114, LOT 33
DEED BOOK 54840, PAGE 256
#33 CAPE ROAD

ACCESS & UTILITY
EASEMENT ON LOT 1
FOR THE BENEFIT OF LOT 2
(49,390± SQ. FT.)

ACCESS & UTILITY
EASEMENT ON LOT 1
FOR THE BENEFIT OF LOT 2
(49,390± SQ. FT.)



N/F
BWC MUDDY BROOK, LLC
MAP 14, BLOCK 114, LOT 39
DEED BOOK 62778, PAGE 253
#39 CAPE ROAD
(LOT 2)

N/F
ERIK K. HODGE
MAP 14, BLOCK 106, LOT 3
DEED BOOK 52597, PAGE 316
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HB-HIGHWAY BUSINESS
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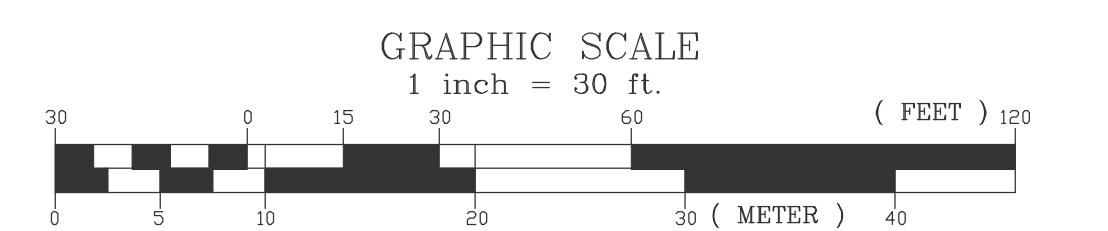
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

EROSION CONTROL NOTES:

- CONTRACTOR SHALL MODIFY SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL INSPECT AND CLEAN ALL SILTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS WITH A PRECIPITATION AMOUNT IN EXCESS OF 1". CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DEFICIENCIES FOUND ON SILTATION CONTROL MEASURES.
- CONTRACTOR SHALL MAINTAIN AN INVENTORY OF EMERGENCY SUPPLIES ON SITE IN A PROTECTED LOCATION INCLUDING, BUT NOT LIMITED TO HAYBALES, SILT FENCE, WASHED STONE, PVC PIPE, MULCH AND SEED.
- THE BASE OF ALL STOCK PILES SHALL BE PROTECTED WITH A HAYBALE OR SILT FENCE BARRIER.
- ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED BEFORE OR THROUGH THE WINTER TO ELIMINATE DESTABILIZATION OR SILTATION DURING THE SPRING THAW.
- ANY RELEASE OF WATER FROM TEMPORARY SILTATION PONDS SHALL BE FREE OF SILT AND SEDIMENT AND SHALL MEET WATER QUALITY STANDARDS FOR CLASS B WATER IN THE COMMONWEALTH OF MASSACHUSETTS.
- IF GROUNDWATER DE-WATERING IS REQUIRED, CONTRACTOR SHALL IMPLEMENT A FILTERING SYSTEM FOR PUMPED GROUNDWATER TO REMOVE SILT AND SEDIMENT. THE DIRECT DISCHARGE OF ANY DE-WATERING OPERATION INTO A WETLAND IS PROHIBITED.
- CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENTS WHEN THEY HAVE ACCUMULATED TO A HEIGHT APPROXIMATELY EQUAL TO ONE HALF OF THE HEIGHT OF THE CORRESPONDING EROSION AND SEDIMENTATION CONTROL MEASURE.
- CONTRACTOR SHALL KEEP COPIES OF THE EROSION CONTROL PLAN, INSPECTION REPORTS AND THE STORMWATER POLLUTION PREVENTION PLAN SO THEY ARE ACCESSIBLE AT ALL TIMES.
- CONTRACTOR TO PROTECT ALL DRAINAGE INLETS FROM SILT AND SEDIMENT UNTIL THEIR TRIBUTARY AREAS ARE FULLY STABILIZED.
- DESIGN ENGINEER TO VERIFY LOCATION AND INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO SWEEP STREET IN FRONT OF WORK AREA WEEKLY TO PREVENT ACCUMULATION OF SILT AND SEDIMENT ON CAPE ROAD.
- ALL ABANDONED DRAIN AND SEWER MANHOLES, DRAINAGE, SEWER AND WATER PIPES WITHIN THE PROJECT AREA SHALL BE REMOVED AND PROPERLY DISPOSED OFF SITE.

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046



EROSION AND SEDIMENT CONTROL PLAN

#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHEASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
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ENGINEERS & SURVEYORS:
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SHEET C200
DATE: JANUARY 4, 2021
CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

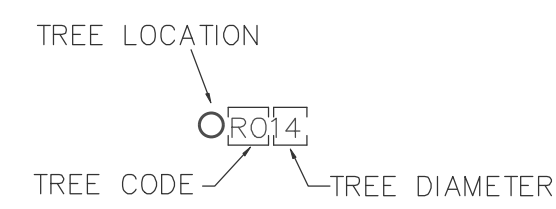
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LEGEND

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C.B.K.	CENTER BACK
CHD	CHORD LENGTH
CHD BRG	CHORD BEARING
D.H.	DRILL HOLE
DIAM.	DIAMETER
D.Y.L.	DOUBLE YELLOW LINE
E.O.P.	EDGE OF PAVEMENT
(F)	FOUND
G.F.E.	GARAGE FLOOR ELEVATION
L.P.	LIGHT POST
M.H.B.	MASS. HIGHWAY BOUND
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
P.	STONE POST
R	RADIUS
S.W.L.	SINGLE WHITE LINE
U.P.#	UTILITY POLE
W.F.	WOOD FRAME
W.G.	WATER GATE
Δ	DELTA
+	EXISTING SPOT GRADE
-	EXISTING GRADING
W	EXISTING WATERLINE

ZONING:

HB-HIGHWAY BUSINESS
ALL PERMITTED USES
MINIMUM AREA= 40,000 SQUARE FEET
MINIMUM FRONTAGE= 200 FEET
SETBACKS:
FRONT YARD= 50 FEET
SIDE YARD= 20 FEET
REAR YARD= 20 FEET
MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
MAXIMUM LOT COVERAGE= 30%

BENCHMARKS

ELEVATION SHOWN IS BASED ON NAVD88 DATUM

T.B.M.	DESCRIPTION	ELEVATION
A	NAIL SET 1' UP IN 14" RED MAPLE	302.29'
B	NAIL SET 0.5' IN 12" RED MAPLE DOUBLE	307.83'
C	NAIL SET 1' UP ON U.P.#20	307.75'
D	NAIL SET 1' UP IN 12" WHITE PINE	311.48'

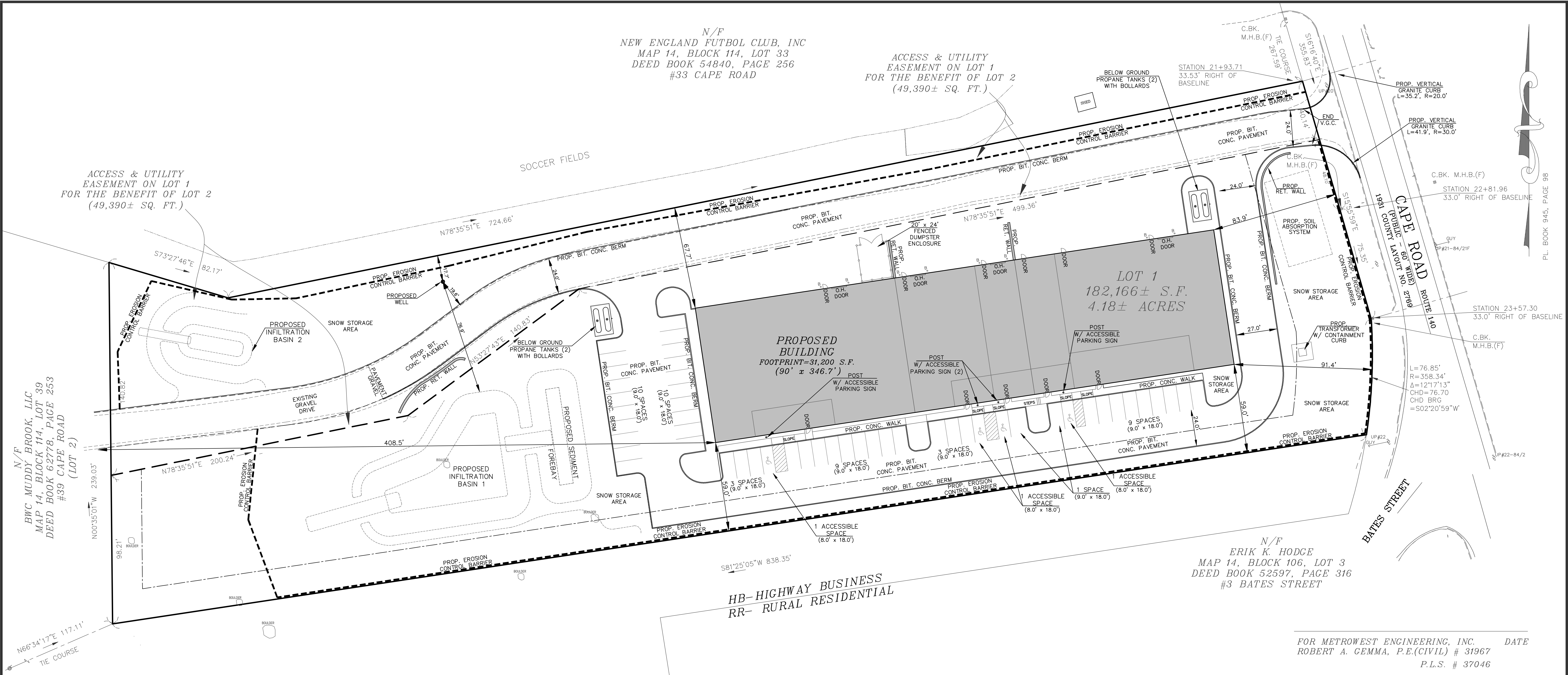


CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

N/F
 NEW ENGLAND FUTBOL CLUB, INC
 MAP 14, BLOCK 114, LOT 33
 DEED BOOK 54840, PAGE 256
 #33 CAPE ROAD

ACCESS & UTILITY
 EASEMENT ON LOT 1
 FOR THE BENEFIT OF LOT 2
 (49,390± SQ. FT.)

ACCESS & UTILITY
 EASEMENT ON LOT 1
 FOR THE BENEFIT OF LOT 2
 (49,390± SQ. FT.)

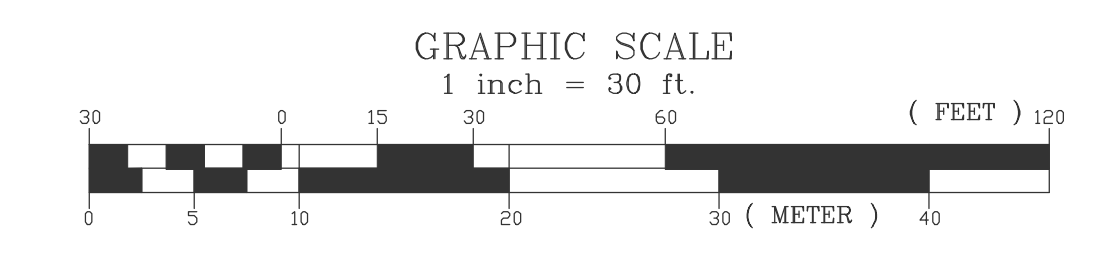


N/F
 BWC MUDDY BROOK, LLC
 MAP 14, BLOCK 114, LOT 39
 DEED BOOK 62778, PAGE 253
 #39 CAPE ROAD
 (LOT 2)

N/F
 ERIK K. HODGE
 MAP 14, BLOCK 106, LOT 3
 DEED BOOK 52597, PAGE 316
 #3 BATES STREET

HB-HIGHWAY BUSINESS
 RR-RURAL RESIDENTIAL

FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.E.(CIVIL) # 31967
 P.L.S. # 37046



PROPOSED LAYOUT PLAN
 #35 CAPE ROAD
 IN
 MENDON, MASS

PREPARED FOR:
 ARES CONSTRUCTION
 38 PHEASANT LANE
 MANCHESTER, NH 03109

PROPERTY OF:
 WENCER REALTY, LLC
 1040 SOUTH MAIN STREET
 BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
 75 FRANKLIN STREET
 FRAMINGHAM, MA 01702
 TELE: (508)626-0063
 EMAIL: INFO@METROWESTENGINEERING.COM

SHEET C300
 DATE: JANUARY 4, 2021
 CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
 DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

NOTES:

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- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
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HB-HIGHWAY BUSINESS
 RR-RURAL RESIDENTIAL

TREE
 DESCRIPTION
 LEGEND

CODE	DESCRIPTION
BW	BLACK WALNUT
QA	QUAKING ASPEN
DEC	DECIDUOUS
HK	HEMLOCK
HOL	HOLLY
JM	JAPANESE MAPLE
PR	PEAR
RM	RED MAPLE
RO	RED OAK
RP	RED PINE
SM	SUGAR MAPLE
SNAG	SNAG
WA	WHITE ASH
WP	WHITE PINE
DBL	DOUBLE

LEGEND

A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BULKHEAD
B.W.	BAY WINDOW
C.B.K.	CENTER BACK
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W.G.	WATER GATE
Δ	DELTA
+	EXISTING SPOT GRADE
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 ALL PERMITTED USES
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 MAXIMUM LOT COVERAGE= 30%

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

PROPOSED PARKING REQUIREMENTS

PROPOSED USE	FLOOR AREA	PARKING REQUIREMENT	TOTAL
PROPOSED BUILDING	31,200 SQUARE FEET	1 SPACE PER 1000 S.F. OF FLOOR AREA	31.2
TOTAL NUMBER OF REQUIRED PARKING SPACES			32
TOTAL NUMBER OF PROPOSED PARKING SPACES			50

PARKING REQUIREMENTS TAKEN FROM SECTION 2.0.3 (b) OF TOWN OF MENDON ZONING BYLAWS.

ZONING TABLE: 35 CAPE ROAD
 MAP 114, BLOCK 114, LOT 35

DESCRIPTION	REQUIRED HIGHWAY BUSINESS	EXISTING	PROPOSED
LOT AREA	40,000 SQ. FT. (MIN.)	182,166 SQ. FT.	182,166 SQ. FT.
LOT FRONTAGE	200 FT. (MIN.)	240.44 FT.	240.44 FT.
FRONT YARD SETBACK	50 FT. (MIN.)	14.0 FT.	83.9 FT.
SIDE YARD SETBACK	20 FT. (MIN.)	44.7 FT.	59.0 FT.
REAR YARD SETBACK	20 FT. (MIN.)	665.6 FT.	408.5 FT.
MAX BUILDING HEIGHT	35 FT. (2.5 STORIES)	2.0 STORIES	18 FT. 1 (STORY)
FLOOR AREA	N.A.	4,904 SQ. FT.	31,200 SQ. FT.
FLOOR AREA RATIO	N.A.	0.027± (2.7%)	0.171 (17.1%)
MAX. BUILDING COVERAGE	30%	0.020 (2.0%)	0.171 (17.1%)
BUILDING AREA	N.A.	3,594 SQ. FT.	31,200 SQ. FT.
OTHER IMPERVIOUS SURFACES	N.A.	20,579 SQ. FT.	61,349 SQ. FT.
TOTAL IMPERVIOUS AREA	N.A.	24,173 SQ. FT.	92,549 SQ. FT.
PARKING	32 SPACES	0 SPACES	50 SPACES
HANDICAP PARKING	3 SPACES	0 SPACES	4 SPACES
UPLAND AREA	N.A.	182,166 SQ. FT.	182,166 SQ. FT.



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

APPROXIMATE EARTHWORK CALCULATIONS:

TOTAL CUT= 2,671 C.Y.
TOTAL FILL= 4,254 C.Y.

NET EARTHWORK= 1,583 C.Y. (FILL)

EARTHWORK ACTIVITIES
EXISTING FOUNDATION - 320 CUBIC YARDS (FILL)
NEW FOUNDATION - 891 CUBIC YARDS (CUT)
NEW FOUNDATION - 307 CUBIC YARDS (FILL)

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GENERAL EARTHWORK - 1,780 CUBIC YARDS (CUT)

FILL BEING IMPORTED TO THE SITE SHALL BE INSPECTED BY THE DESIGN ENGINEER OR THE SITE CONTRACTOR SHALL PROVIDE TRUCKING RECEIPTS OF FILL SOILS RECEIVED AT THE SITE.

N/F
NEW ENGLAND FUTBOL CLUB, INC
MAP 14, BLOCK 114, LOT 33
DEED BOOK 54840, PAGE 256
#33 CAPE ROAD

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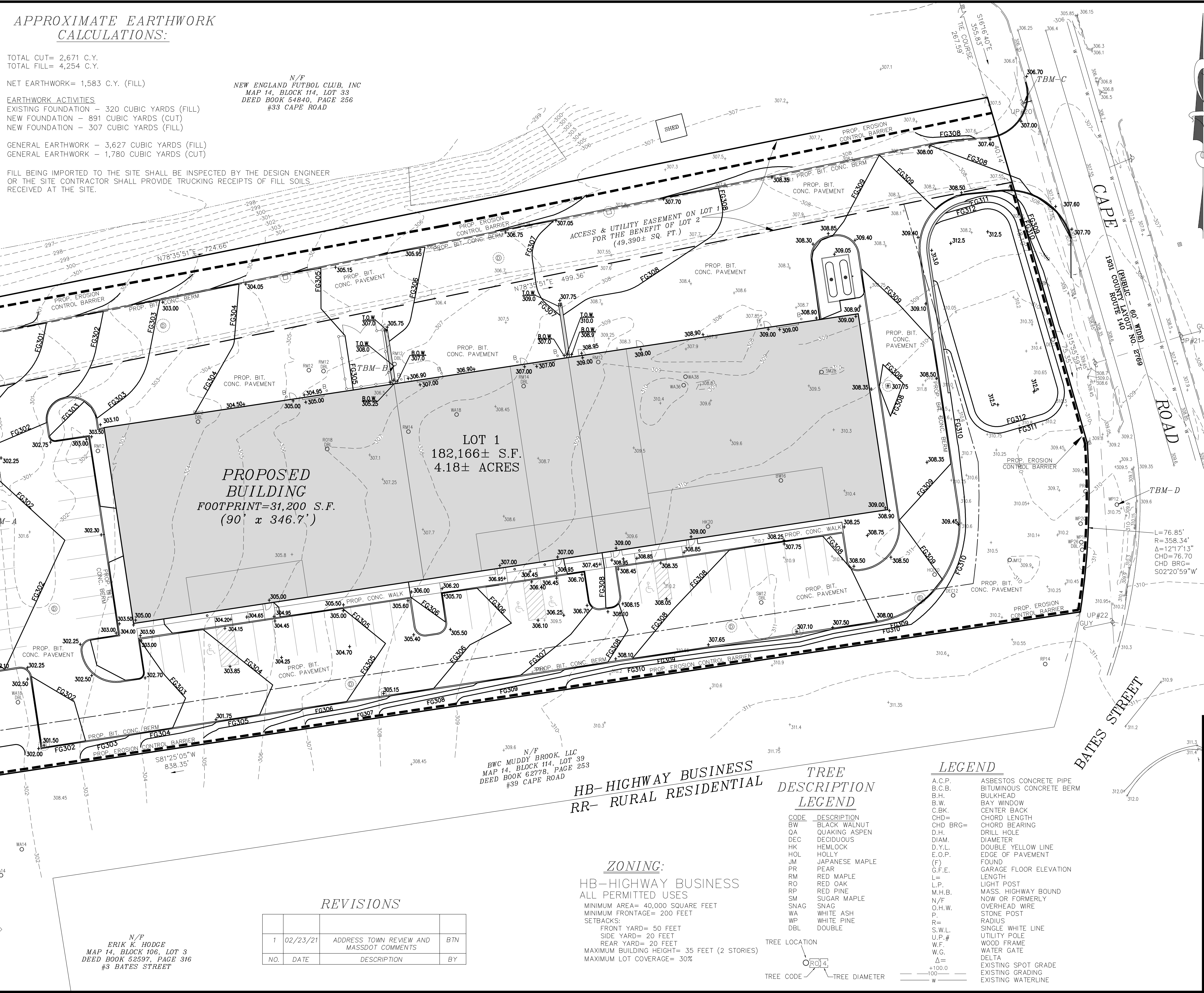
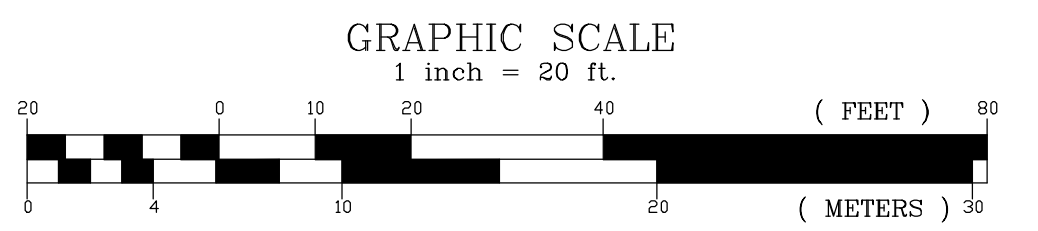
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BENCHMARKS

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FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046



LOT 1
182,166± S.F.
4.18± ACRES

PROPOSED BUILDING
FOOTPRINT=31,200 S.F.
(90' x 346.7')

N/F
BWC MUDDY BROOK, LLC
MAP 14, BLOCK 114, LOT 39
DEED BOOK 62778, PAGE 253
#39 CAPE ROAD

HB- HIGHWAY BUSINESS
RR- RURAL RESIDENTIAL

ZONING:

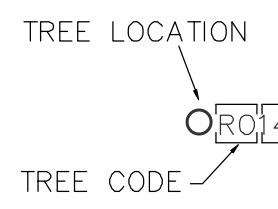
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DEC	DECIDUOUS
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SNAG	SNAG
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WP	WHITE PINE
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LEGEND

A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BULKHEAD
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REVISIONS

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N/F
ERIK K. HODGE
MAP 14, BLOCK 106, LOT 3
DEED BOOK 52597, PAGE 316
#3 BATES STREET

PROPOSED GRADING PLAN
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHOENIX LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C400 DATE: JANUARY 4, 2021

CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

LEGEND

A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
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BENCHMARKS

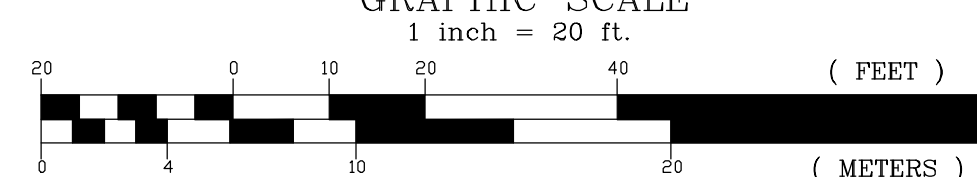
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PL. BOOK 945, PAGE 98

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046

GRAPHIC SCALE



PROPOSED GRADING PLAN
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
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1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

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TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C401 DATE: JANUARY 4, 2021
CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

REVISIONS

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(LOT 2)

N/F
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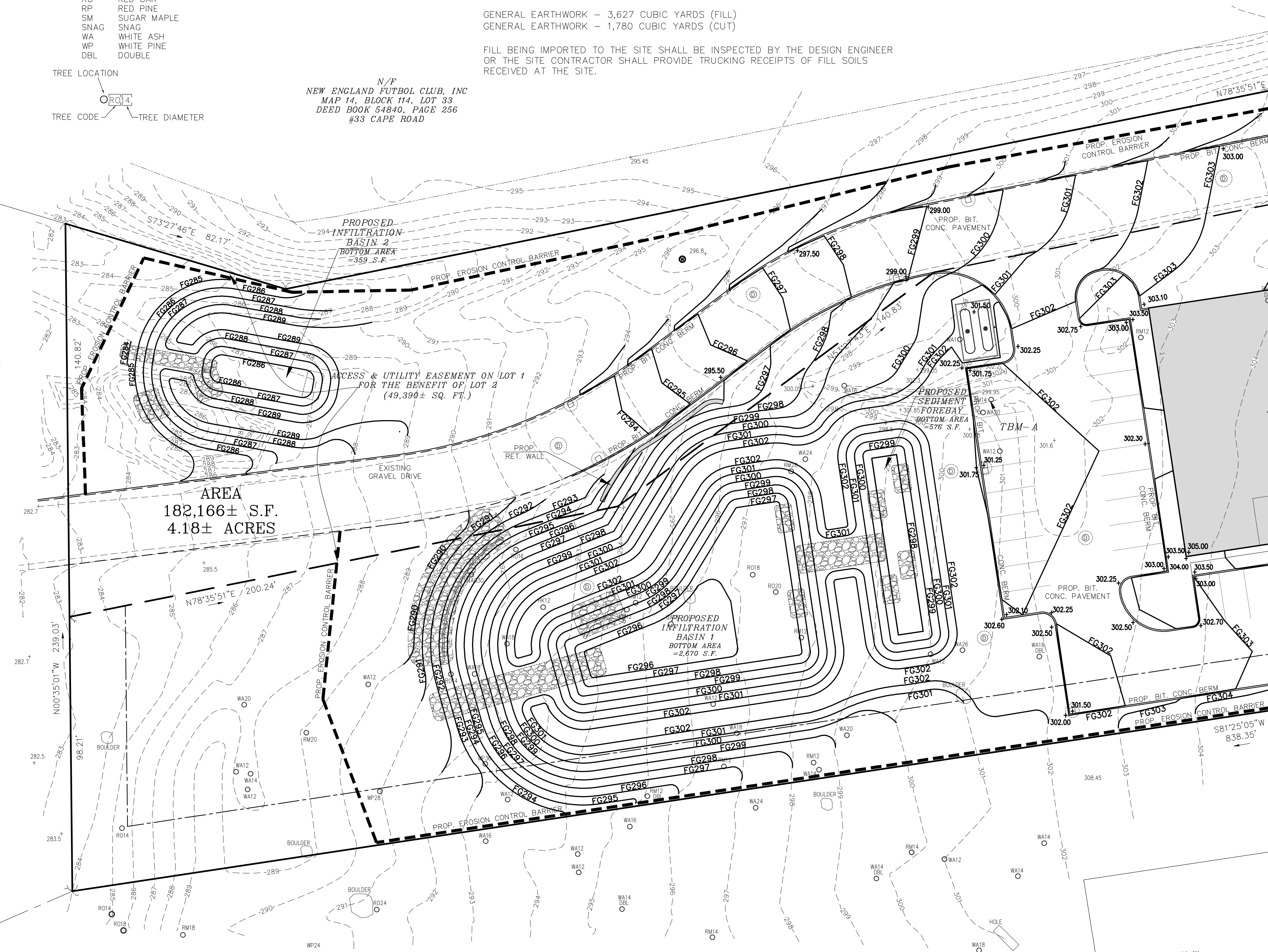
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AREA
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4.18± ACRES

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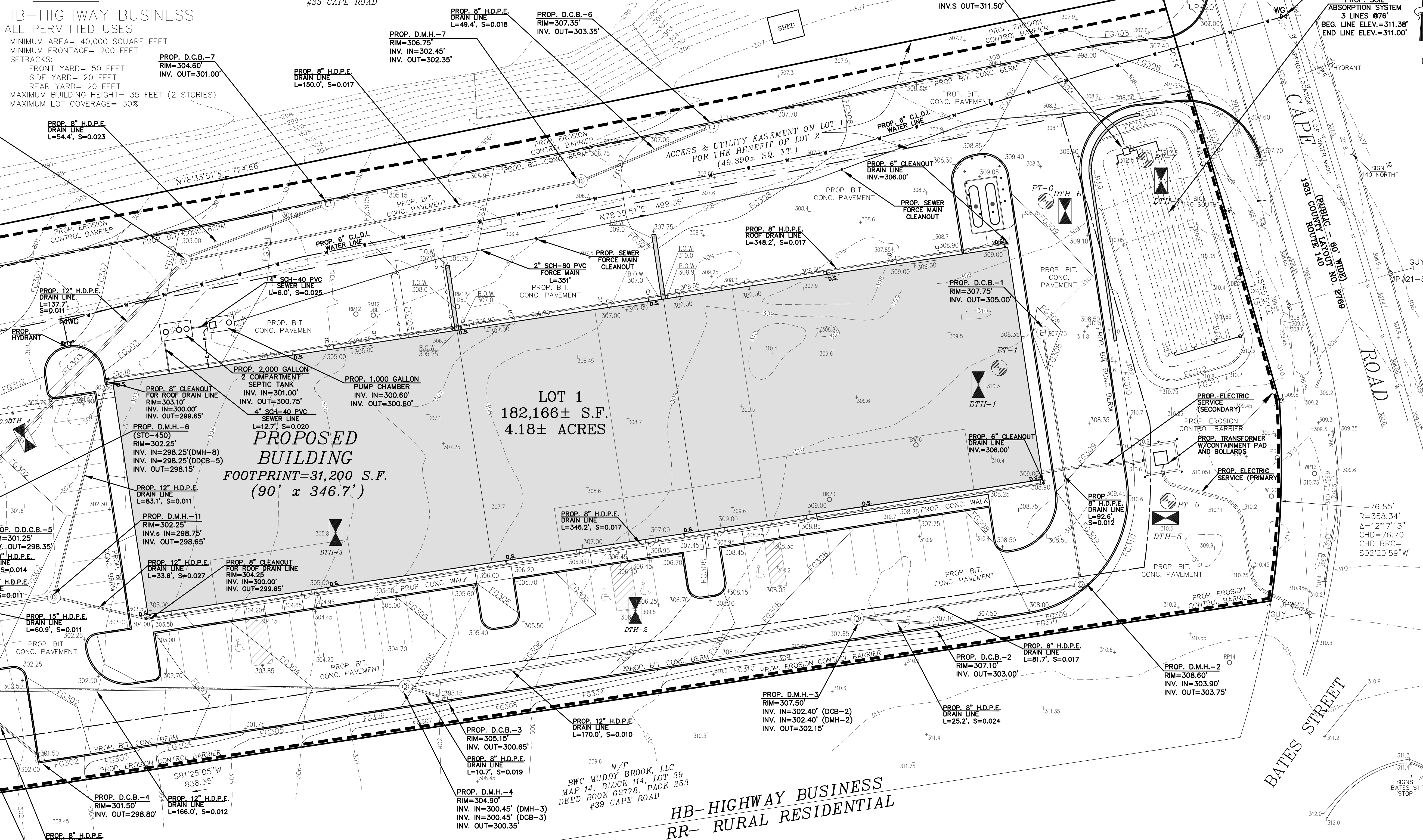
NOTES:

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- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25027C1032E, BEARING AN EFFECTIVE DATE OF JULY 04, 2011.

ZONING:
HB-HIGHWAY BUSINESS
ALL PERMITTED USES

MINIMUM AREA= 40,000 SQUARE FEET
MINIMUM FRONTAGE= 200 FEET
SETBACKS:
FRONT YARD= 50 FEET
SIDE YARD= 20 FEET
REAR YARD= 20 FEET
MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
MAXIMUM LOT COVERAGE= 30%

N/F
NEW ENGLAND FUTBOL CLUB, INC.
MAP 14, BLOCK 114, LOT 35
DEED BOOK 54940, PAGE 256
#33 CAPE ROAD

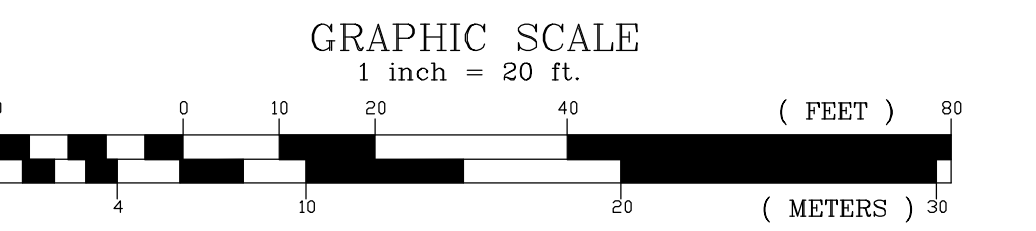


CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

LEGEND

A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BULKHEAD
B.W.	BAY WINDOW
C.B.K.	CENTER BACK
CHD	CHORD LENGTH
CHD BRG	CHORD BEARING
D.H.	DRILL HOLE
DIAM.	DIAMETER
D.Y.L.	DOUBLE YELLOW LINE
E.O.P.	EDGE OF PAVEMENT
(F)	FOUND
G.F.E.	GARAGE FLOOR ELEVATION
LEN	LENGTH
L.P.	LIGHT POST
M.H.B.	MASS. HIGHWAY BOUND
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
P.	STONE POST
R.	RADIUS
S.W.L.	SINGLE WHITE LINE
U.P.#	UTILITY POLE
W.F.	WOOD FRAME
W.G.	WATER GATE
Δ	DELTA
+100.0	EXISTING SPOT GRADE
-100.0	EXISTING GRADING
W	EXISTING WATERLINE

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046



PROPOSED SITE PLAN
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@METROWESTENGINEERING.COM

SHEET C500 DATE: JANUARY 4, 2021
CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BW	BLACK WALNUT
QA	QUAKING ASPEN
DEC	DECIDUOUS
HK	HEMLOCK
HOL	HOLLY
JM	JAPANESE MAPLE
PR	PEAR
RM	RED MAPLE
RO	RED OAK
RP	RED PINE
SM	SUGAR MAPLE
SNAG	SNAG
WA	WHITE ASH
WP	WHITE PINE
DBL	DOUBLE

TREE LOCATION
TREE CODE TREE DIAMETER

HB-HIGHWAY BUSINESS
RR-RURAL RESIDENTIAL

SOIL TEST RESULTS

SOIL LOGS	SOIL TEST RESULTS	SOIL LOGS	SOIL TEST RESULTS
D.T.H.-1 (ELEV=310.3')	0-12" Ap SANDY LOAM 10YR 3/2 12-26" Bw SANDY LOAM 10YR 5/6 26-52" C1 SANDY LOAM 2.5Y 5/2 52-106" C2 SANDY LOAM 2.5Y 4/2	D.T.H.-2 (ELEV=309.6')	0-12" Ap SANDY LOAM 10YR 3/2 12-30" Bw SANDY LOAM 10YR 5/6 30-68" C1 SANDY LOAM 2.5Y 6/1 68-132" C2 LOAMY SAND 2.5Y 5/2
D.T.H.-3 (ELEV=308.8')	0-12" Ap SANDY LOAM 10YR 3/2 12-30" Bw SANDY LOAM 10YR 5/6 30-68" C1 SANDY LOAM 2.5Y 4/2 68-132" C2 SANDY LOAM 2.5Y 5/2	D.T.H.-4 (ELEV=307.0')	0-12" Ap SANDY LOAM 10YR 3/2 12-26" Bw SANDY LOAM 10YR 5/6 26-76" C1 SANDY LOAM 2.5Y 5/3 76-108" C2 SILT LOAM 2.5Y 5/2
D.T.H.-5 (ELEV=310.5')	12-30" Bw SANDY LOAM 10YR 5/6 30-54" C1 SANDY LOAM 2.5Y 6/1 54-110" C2 LOAMY SAND 2.5Y 5/2	D.T.H.-6 (ELEV=308.8')	0-14" Ap SANDY LOAM 10YR 3/2 14-32" Bw SANDY LOAM 10YR 5/6 32-54" C1 SANDY LOAM 2.5Y 4/2 54-96" C2 SANDY LOAM 2.5Y 5/2
D.T.H.-7 (ELEV=299.7')	10-32" Bw SANDY LOAM 10YR 5/6 32-55" C1 SANDY LOAM 2.5Y 4/2 55-98" C2 SANDY LOAM 2.5Y 5/2	D.T.H.-8 (ELEV=309.0')	42-96" C1 SANDY LOAM 2.5Y 4/2
D.T.H.-9 (ELEV=299.7')	0-12" Ap SANDY LOAM 10YR 3/2 12-30" Bw SANDY LOAM 10YR 5/6 30-108" C1 SANDY LOAM 2.5Y 5/2	D.T.H.-10 (ELEV=286.8')	0-12" Ap SANDY LOAM 10YR 3/2 12-30" Bw SANDY LOAM 10YR 5/6 30-84" C1 SANDY LOAM 2.5Y 5/2
D.T.H.-11 (ELEV=294.3')	0-12" Ap SANDY LOAM 10YR 3/2 12-30" Bw SANDY LOAM 10YR 5/6 30-56" C1 SANDY LOAM 2.5Y 4/2 56-96" C2 LOAMY SAND 2.5Y 5/2	D.T.H.-12 (ELEV=294.3')	0-12" Ap SANDY LOAM 10YR 3/2 12-30" Bw SANDY LOAM 10YR 5/6 30-56" C1 SANDY LOAM 2.5Y 4/2 56-96" C2 LOAMY SAND 2.5Y 5/2

NO REFUSAL MOTTLING @ 48", 7.5YR5/8 (POSSIBLY PERCHING WATER) NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=306.3'

NO REFUSAL MOTTLING @ 40"-48" (PERCHING WATER) NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=303.3'

NO REFUSAL MOTTLING @ 86" NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=303.3'

NO REFUSAL MOTTLING @ 56", 7.5YR5/8 NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=295.9'

NO REFUSAL MOTTLING @ 40", 7.5YR5/8 NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=296.0'

NO REFUSAL MOTTLING @ 32", 7.5YR5/8 NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=284.1'

NO REFUSAL MOTTLING @ 44", 7.5YR5/8 NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=296.0'

NO REFUSAL MOTTLING @ 36", 7.5YR5/8 NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=291.3'

DATE: SEPTEMBER 17, 2020 (F.B.700, PAGE 28)
BY: BRIAN NELSON, SOIL EVALUATOR
INSPECTOR: N/A

DATE: NOVEMBER 30, 2020 (F.B.700, PAGE 38)
BY: BRIAN NELSON, SOIL EVALUATOR
INSPECTOR: THOMAS RYDER (TEST PITS 6 AND 7)

SOIL TEST RESULTS			SOIL TEST RESULTS		
D.T.H.-1 (ELEV=310.3') 0-12" Ap SANDY LOAM 10YR 3/2 12"-26" Bw SANDY LOAM 10YR 5/6 26"-52" C1 SANDY LOAM 2.5Y 5/2 52"-106" C2 SANDY LOAM 2.5Y 4/2	D.T.H.-2 (ELEV=309.6') 0-12" Ap SANDY LOAM 10YR 3/2 12"-30" Bw SANDY LOAM 10YR 5/6 30"-66" C1 SANDY LOAM 2.5Y 6/1 66"-132" C2 LOAMY SAND 2.5Y 5/2	D.T.H.-5 (ELEV=310.5') 0-12" Ap SANDY LOAM 10YR 3/2 12"-30" Bw SANDY LOAM 10YR 5/6 30"-54" C1 SANDY LOAM 2.5Y 6/1 54"-110" C2 LOAMY SAND 2.5Y 5/2	D.T.H.-6 (ELEV=308.8') 0-14" Ap SANDY LOAM 10YR 3/2 14"-32" Bw SANDY LOAM 10YR 5/6 32"-70" C1 SANDY LOAM 2.5Y 4/2 70"-96" C2 SANDY LOAM 2.5Y 5/2	D.T.H.-7 (ELEV=309.0') 0-12" Ap SANDY LOAM 10YR 3/2 12"-30" Bw SANDY LOAM 10YR 5/6 30"-66" C1 SANDY LOAM 2.5Y 4/2 66"-132" C2 SANDY LOAM 2.5Y 5/2	D.T.H.-8 (ELEV=299.7') 0-10" Ap SANDY LOAM 10YR 3/2 10"-32" Bw SANDY LOAM 10YR 5/6 32"-55" C1 SANDY LOAM 2.5Y 4/2 55"-98" C2 SANDY LOAM 2.5Y 5/2
NO REFUSAL MOTTLING @ 48", 7.5YR5/8 (POSSIBLY PERCHING WATER) NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=306.3'	NO REFUSAL MOTTLING @ 40"-48" (PERCHING WATER) NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=306.3'	NO REFUSAL MOTTLING @ 96" NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=303.3'	NO REFUSAL MOTTLING @ 56", 7.5YR5/8 NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=304.1'	NO REFUSAL MOTTLING @ 50" NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=304.8'	NO REFUSAL MOTTLING @ 46", 7.5YR5/8 STANDING WATER @ 90" WEeping WATER @ 88" ESTIMATED HIGH WATER=295.9'
D.T.H.-3 (ELEV=305.8') 0-10" Ap SANDY LOAM 10YR 3/2 10"-26" Bw SANDY LOAM 10YR 5/6 26"-40" C1 SANDY LOAM 2.5Y 5/2 40"-106" C2 SANDY LOAM 2.5Y 4/2	D.T.H.-4 (ELEV=301.0') 0-12" Ap SANDY LOAM 10YR 3/2 12"-26" Bw SANDY LOAM 10YR 5/6 26"-76" C1 SANDY LOAM 2.5Y 6/3 76"-108" C2 SILT LOAM 2.5Y 5/2	D.T.H.-9 (ELEV=299.7') 0-12" Ap SANDY LOAM 10YR 3/2 12"-30" Bw SANDY LOAM 10YR 5/6 30"-108" C1 SANDY LOAM 2.5Y 5/2	D.T.H.-10 (ELEV=286.8') 0-10" Ap SANDY LOAM 10YR 3/2 10"-30" Bw SANDY LOAM 10YR 5/6 30"-64" C1 SANDY LOAM 2.5Y 5/2	D.T.H.-11 (ELEV=294.3') 0-12" Ap SANDY LOAM 10YR 3/2 12"-30" Bw SANDY LOAM 10YR 5/6 30"-96" C1 SANDY LOAM 2.5Y 4/2 56"-96" C2 LOAMY SAND 2.5Y 5/2	D.T.H.-12 (ELEV=299.7') 0-10" Ap SANDY LOAM 10YR 3/2 10"-30" Bw SANDY LOAM 10YR 5/6 30"-66" C1 SANDY LOAM 2.5Y 4/2 66"-132" C2 SANDY LOAM 2.5Y 5/2
NO REFUSAL NO MOTTLING (PERCHING WATER IN CI HORIZON) NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=303.5'	NO REFUSAL NO MOTTLING C2 HORIZON IS DAMP (PERCHING WATER) NO STANDING OR WEeping WATER ESTIMATED HIGH WATER=294.7'	NO REFUSAL MOTTLING @ 44", 7.5YR5/8 STANDING WATER @ 104" ESTIMATED HIGH WATER=296.0'	NO REFUSAL MOTTLING @ 32", 7.5YR5/8 STANDING WATER @ 80" WEeping WATER @ 60" ESTIMATED HIGH WATER=284.1'	NO REFUSAL MOTTLING @ 36", 7.5YR5/8 STANDING WATER @ 80" WEeping WATER @ 60" ESTIMATED HIGH WATER=291.3'	NO REFUSAL MOTTLING @ 36", 7.5YR5/8 STANDING WATER @ 80" WEeping WATER @ 60" ESTIMATED HIGH WATER=291.3'
DATE: SEPTEMBER 17, 2020 (F.B.700, PAGE 28) BY: BRIAN NELSON, SOIL EVALUATOR INSPECTOR: N/A			DATE: NOVEMBER 30, 2020 (F.B.700, PAGE 38) BY: BRIAN NELSON, SOIL EVALUATOR INSPECTOR: THOMAS RYDER (TEST PITS 6 AND 7)		

NOTES:

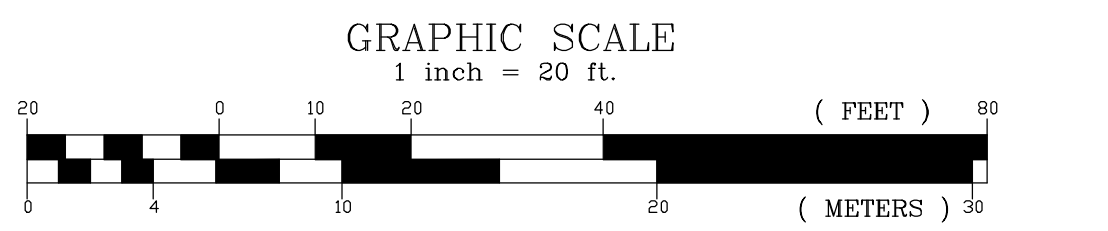
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CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

LEGEND

A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BULKHEAD
B.W.	BAY WINDOW
C.BK.	CENTER BACK
CHD=	CHORD LENGTH
CHD BRG=	CHORD BEARING
D.H.	DRILL HOLE
DIAM.	DIAMETER
D.Y.L.	DOUBLE YELLOW LINE
E.O.P.	EDGE OF PAVEMENT
(F)	FOUND
G.F.E.	GARAGE FLOOR ELEVATION
L=	LENGTH
L.P.	LIGHT POST
M.H.B.	MASS. HIGHWAY BOUND
N/F.	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
P.	STONE POST
R=	RADIUS
S.W.L.	SINGLE WHITE LINE
U.P.#	UTILITY POLE
W.F.	WOOD FRAME
W.G.	WATER GATE
Δ	DELTA
+	EXISTING SPOT GRADE
-	EXISTING GRADING
W	EXISTING WATERLINE

FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.E.(CIVIL) # 31967
 P.L.S. # 37046

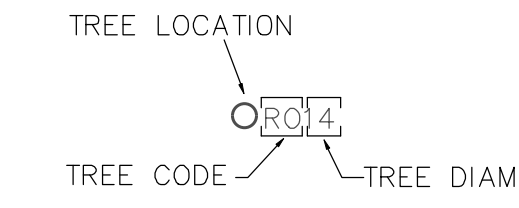


PROPOSED SITE PLAN
 #35 CAPE ROAD
 IN
 MENDON, MASS

PREPARED FOR: ARES CONSTRUCTION 38 PHASANT LANE MANCHESTER, NH 03109	DATE: JANUARY 4, 2021
PROPERTY OF: WENCER REALTY, LLC 1040 SOUTH MAIN STREET BELLINGHAM, MA 02019	CAD FILE: ARES_P_SITE PLAN3_R2.dwg
ENGINEERS & SURVEYORS: MWE METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE: (508)626-0063 EMAIL: INFO@MWEENGINEERING.COM	DWG FILE: SP010421_R1.dwg
SHEET C501	
CALC'D BY: BTN	FIELD BK: 712
DRAFTER: JTS/BTN	PROJECT: MND_CAP

TREE DESCRIPTION LEGEND

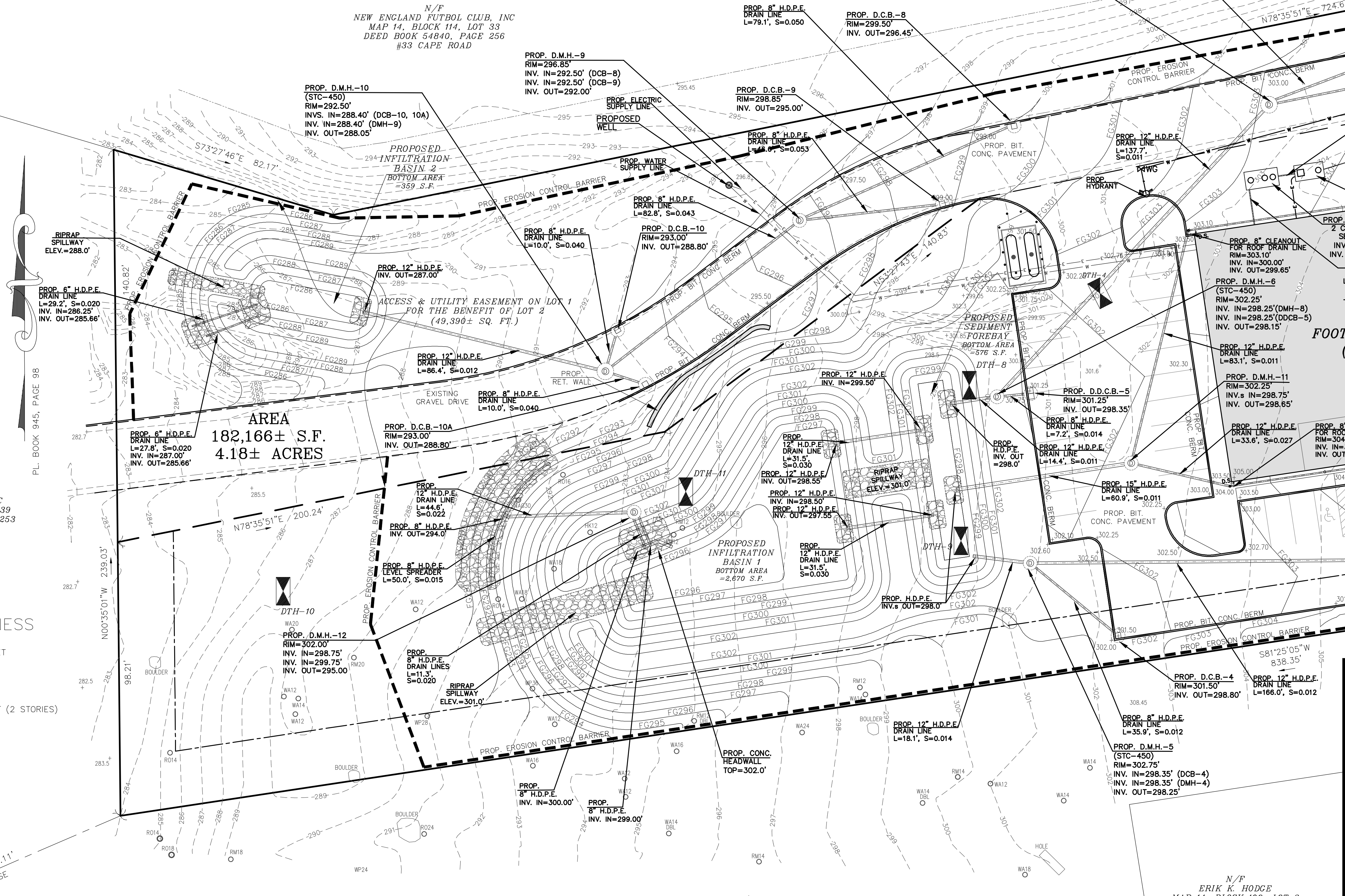
CODE	DESCRIPTION
BW	BLACK WALNUT
QA	QUAKING ASPEN
DEC	DECIDUOUS
HK	HEMLOCK
HOL	HOLLY
JM	JAPANESE MAPLE
FR	PEAR
RM	RED MAPLE
RO	RED OAK
RP	RED PINE
SM	SUGAR MAPLE
SNAG	SNAG
WA	WHITE ASH
WP	WHITE PINE
DBL	DOUBLE



ZONING:

HB-HIGHWAY BUSINESS
 ALL PERMITTED USES
 MINIMUM AREA= 40,000 SQUARE FEET
 MINIMUM FRONTAGE= 200 FEET
 SETBACKS:
 FRONT YARD= 50 FEET
 SIDE YARD= 20 FEET
 REAR YARD= 20 FEET
 MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
 MAXIMUM LOT COVERAGE= 30%

HB-HIGHWAY BUSINESS
 RR-RURAL RESIDENTIAL



REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

N/F
 ERIK K. HODGE
 MAP 14, BLOCK 114, LOT 3
 DEED BOOK 52597, PAGE 316
 #3 BATES STREET

N/F
 BWC MUDDY BROOK, LLC
 MAP 14, BLOCK 114, LOT 39
 DEED BOOK 62778, PAGE 253
 #39 CAPE ROAD
 (LOT 2)

N/F
 NEW ENGLAND FUTBOL CLUB, INC
 MAP 14, BLOCK 114, LOT 33
 DEED BOOK 64840, PAGE 266
 #33 CAPE ROAD

AREA
 182,166± S.F.
 4.18± ACRES

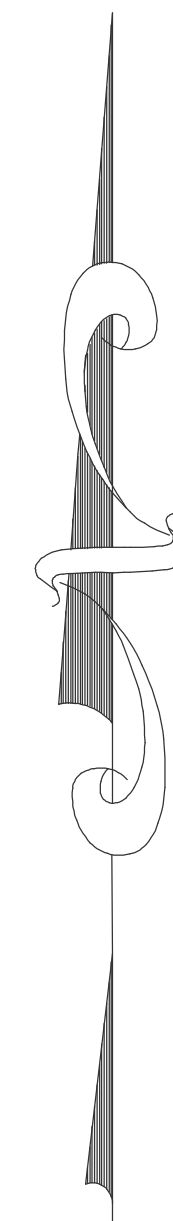
N/F
 BWC MUDDY BROOK, LLC
 MAP 14, BLOCK 114, LOT 39
 DEED BOOK 62778, PAGE 253
 #39 CAPE ROAD
 (LOT 2)

NOTES:

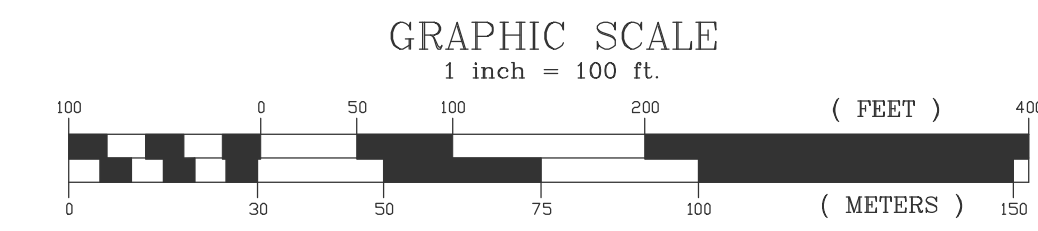
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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/15/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

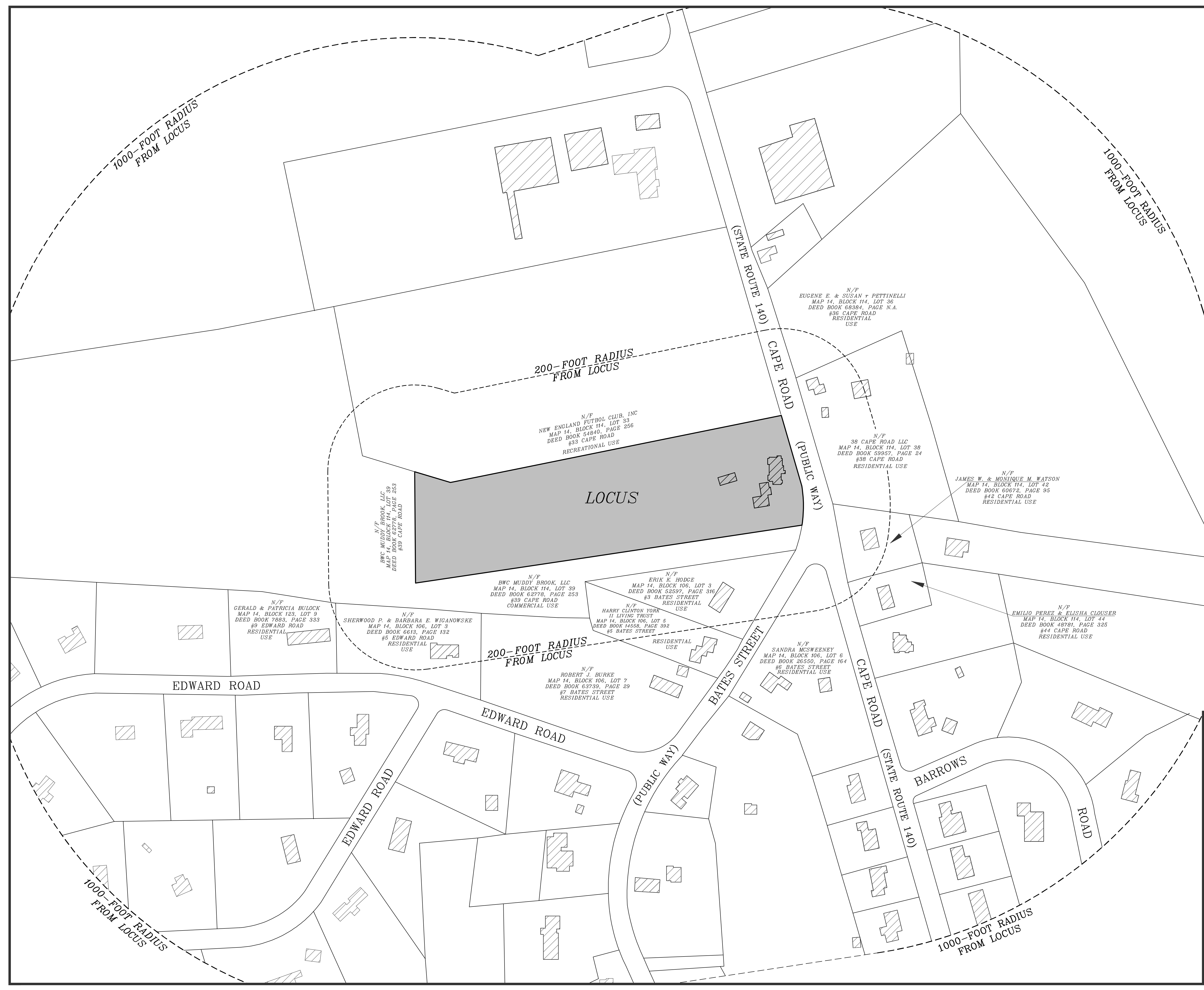


FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.L.S. #37046

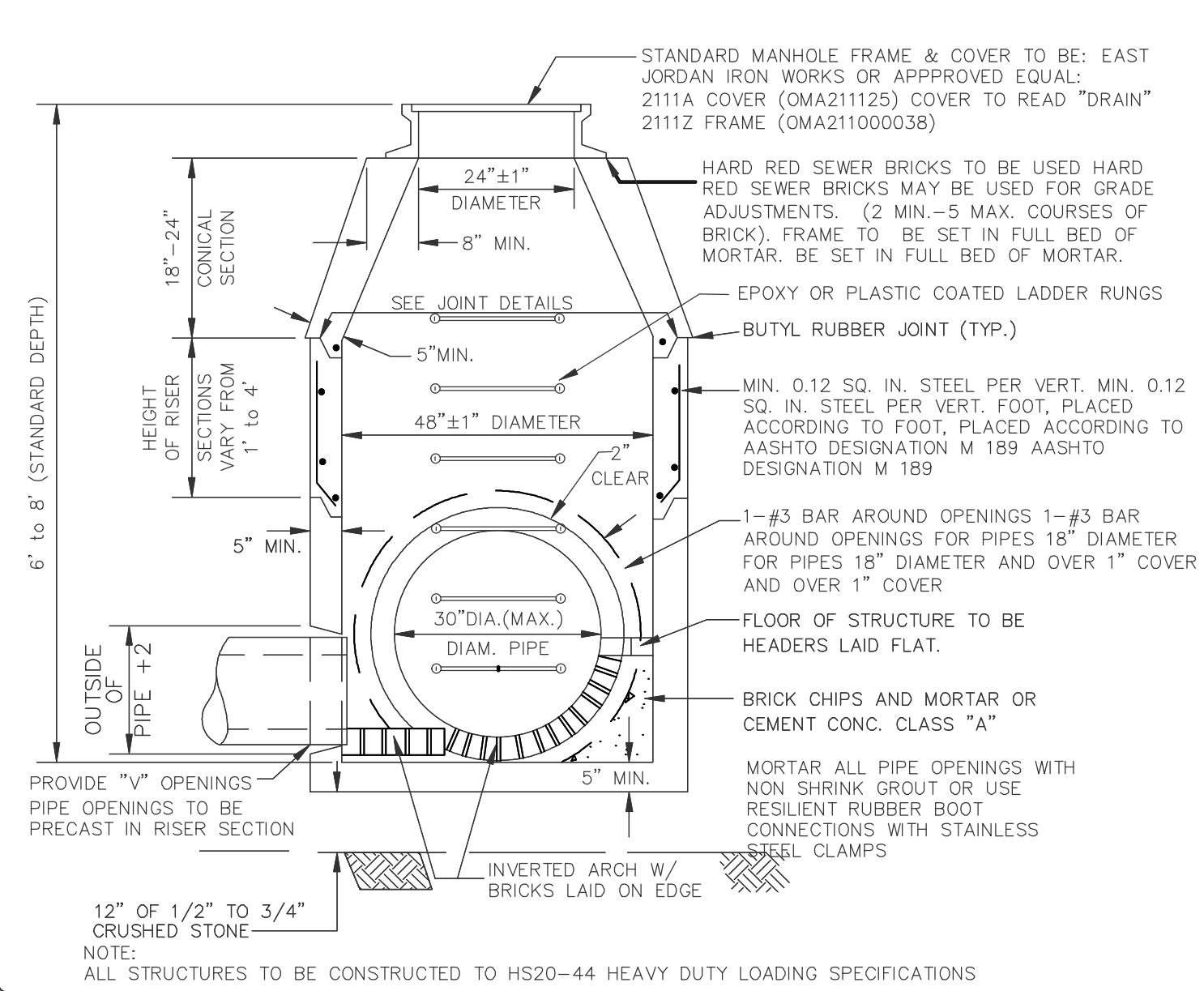


LOCUS PLAN
 #35 CAPE ROAD
 IN
 MENDON, MASS

PREPARED FOR: ARES CONSTRUCTION 38 PHEASANT LANE MANCHESTER, NH 03109		
PROPERTY OF: WENCER REALTY, LLC 1040 SOUTH MAIN STREET BELLINGHAM, MA 02019		
ENGINEERS & SURVEYORS: MWE METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE: (508)626-0063 EMAIL: INFO@MWEENGINEERING.COM		
SHEET C600	DATE: JANUARY 4, 2021	
CALC'D BY: BTN	FIELD BK: 712	CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN	PROJECT: MND_CAP	DWG FILE: SP010421_R1.dwg



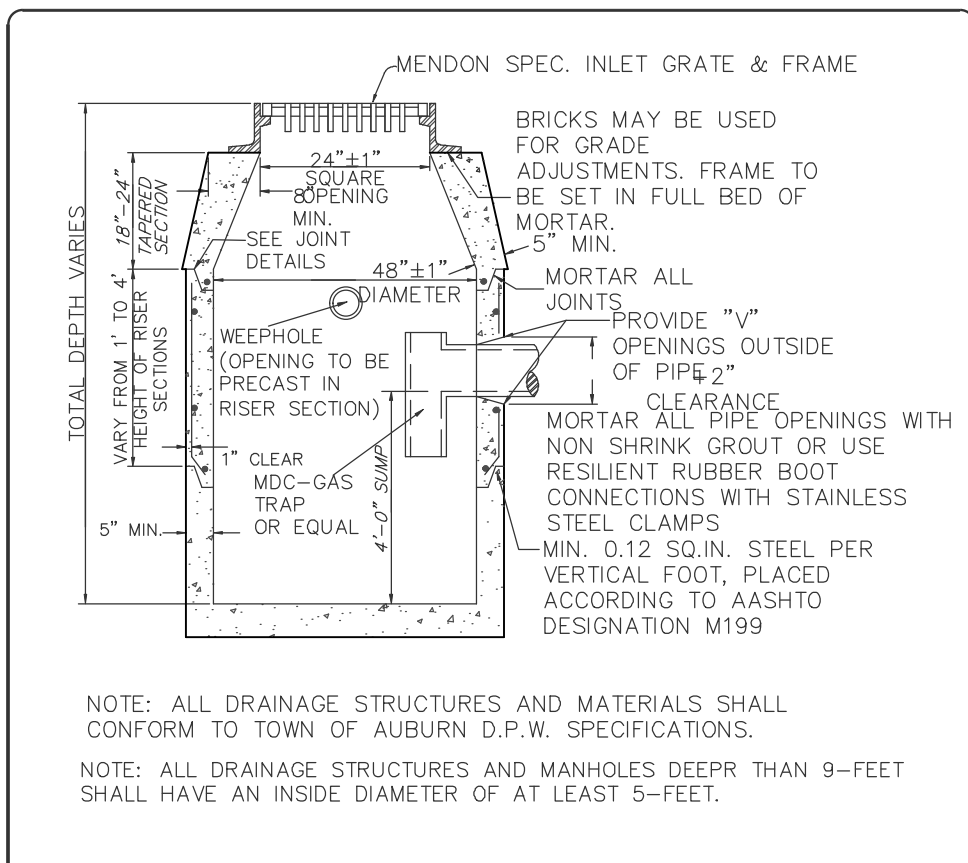
PRECAST CONCRETE MANHOLE
NOT TO SCALE



H.D.P.E. DRAIN PIPE MATERIALS AND INSTALLATION

- 1.) ALL PIPE SHALL CONFORM TO MASSDOT SECTION M5.03.10.
- 2.) PIPE SHALL BE SMOOTH INTERIOR WALL AND CORRUGATED EXTERIOR WALL AND SHALL BE BELL AND SPIGOT CONNECTION.
- 3.) PIPE SHALL COMPLY WITH REQUIREMENTS AND MARKINGS FOUND IN AASHTO DESIGNATIONS M252 AND M294.
- 4.) ALL PIPE SHALL SUPPORT AN HS-20 LIVE LOAD WITH A MAXIMUM DEFLECTION OF 5% OF THE PIPE DIAMETER.
- 5.) ALL PIPE AND FITTINGS SHALL BE MADE FROM VIRGIN POLYETHYLENE COMPOUNDS WHICH CONFORM TO CURRENT AASHTO CLASSIFICATIONS AND ALSO AS DEFINED IN ASTM D3530.
- 6.) PIPES SHALL BE CAREFULLY LAID TO LINES AND GRADES AS SHOWN ON DESIGN PLANS.
- 7.) PIPE BEDDING MATERIAL SHALL BE PLACED TO A DEPTH OF NO LESS THAN SIX-INCHES BELOW THE INVERT OF THE PIPE.
- 8.) TRENCHES FOR DRAIN LINES SHALL PROVIDE MINIMUM OF TWELVE-INCHES (12") OF HORIZONTAL CLEARANCE FROM SIDES OF PIPE TO EDGE OF TRENCH.
- 9.) INSTALLATION OF H.D.P.E. PIPE SHALL BE IN ACCORDANCE WITH ASTM D2321 AND AS RECOMMENDED BY THE MANUFACTURER.
- 10.) WATER TIGHT JOINTS SHALL BE USED ON ALL PIPES IN ACCORDANCE WITH ASTM D3212. PIPE JOINTS SHALL BE BELL AND SPIGOT WITH ELASTOMERIC RUBBER GASKETS MEETING OR EXCEEDING ASTM F477.
- 11.) PIPE BEDDING MATERIAL OR 3/4" CRUSHED STONE SHALL BE CAREFULLY BACKFILLED AND COMPACTED AROUND PIPE TO A DEPTH OF TWELVE-INCHES ABOVE THE TOP OF PIPE.
- 12.) MATERIAL FOR BACKFILLING THE REMAINDER OF THE TRENCH, PAVEMENT AND PAVEMENT BASE MATERIAL EXCLUDED, SHALL BE BACKFILLED AND COMPACTED IN TWELVE-INCH LIFTS WITH SUITABLE MATERIAL WITH NO STONES GREATER THAN FOUR-INCHES IN DIAMETER. MATERIAL SHOULD BE FREE OF ORGANICS AND DEBRIS.
- 13.) TRENCH SHALL BE FINISHED WITH SIX-INCHES (6") OF LOAM AND SEED IN NON PAVED AREAS AND PREPARED IN ACCORDANCE WITH PAVEMENT STRUCTURE IN PAVED AREAS.

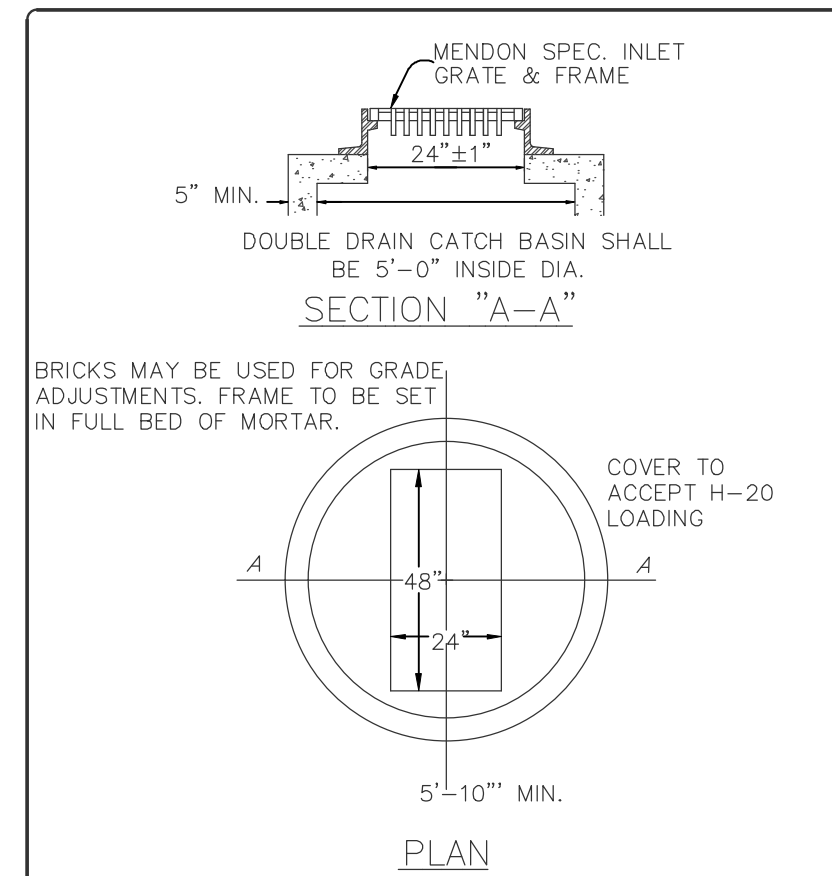
PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



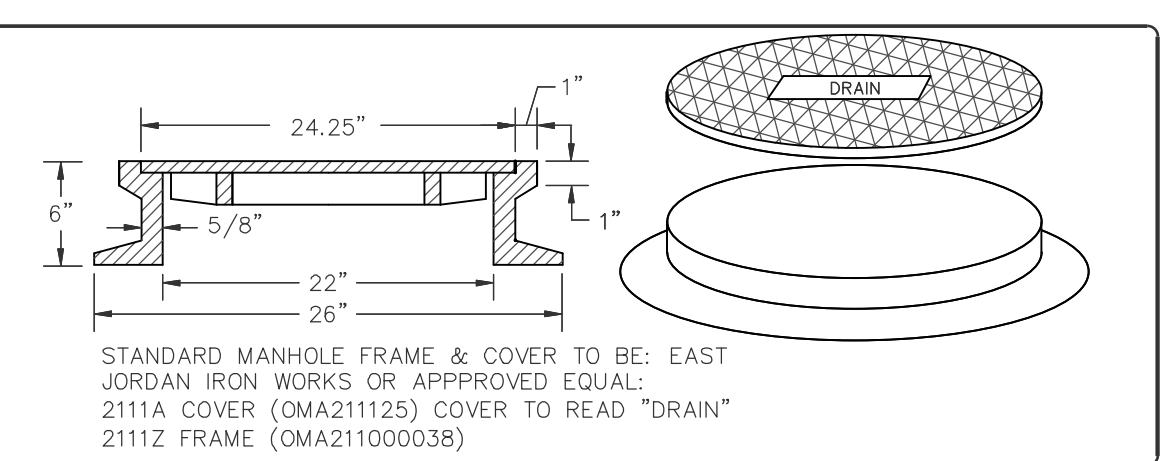
PRECAST CONCRETE DRAIN CATCH BASIN MATERIALS AND INSTALLATION

- 1.) ALL MATERIALS ASSOCIATED SHALL BE IN ACCORDANCE WITH THE DESIGN PLANS, THE TOWN OF MENDON DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS.
- 2.) ALL CATCH BASINS SHALL HAVE A SUMP OF AT LEAST FOUR- FEET (48-INCHES) BELOW THE INVERT OF THE OUTLET PIPE AND SHALL HAVE A HOOD ON OUTLET PIPES.
- 3.) CATCH BASIN HOODS SHALL EXTEND AT LEAST ONE-FOOT BELOW THE INVERT OF THE OUTLET PIPE.
- 4.) CATCH BASINS SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE BASE SECTION, BARREL SECTION AND DOME SECTION MEETING THE REQUIREMENTS OF ASTM C78 AND AASHTO M199. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I.
- 5.) IN CASES WHERE VERTICAL TOLERANCE DOES NOT PERMIT A CONE TOP SECTION, A PRECAST CONCRETE FLAT SECTION MAY BE USED.
- 6.) CATCH BASINS SHALL MEET OR EXCEED HS-20 LOADING REQUIREMENTS.
- 7.) CATCH BASINS SHALL HAVE A MINIMUM OPENING OF 26-INCHES AND A MINIMUM INSIDE DIAMETER OF FOUR- FEET (4').
- 8.) CATCH BASINS SHALL HAVE TONGUE AND GROOVE JOINTS BETWEEN SECTIONS THAT ARE MORTARED OR SEALED WITH BUTYL RUBBER SEALANTS.
- 9.) PIPE INLETS AND OUTLETS SHALL BE SEALED WITH MORTAR OR RUBBER SEALANTS OR BOOT TYPE CONNECTIONS.
- 10.) DRAIN MANHOLES SHALL BE PLACED ON A LAYER OF COMPACTED, LEVEL, BEDDING MATERIAL NOT LESS THAN SIX-INCHES IN HEIGHT.
- 11.) CATCH BASIN SECTIONS SHALL BE CAREFULLY PLACED SO THAT ALL SECTIONS ARE LEVEL AND PLUMB.
- 12.) EXCAVATION AROUND THE MANHOLE STRUCTURED SHALL BE BACKFILLED AND COMPACTED IN TWELVE-INCH (12") LIFTS WITH SUITABLE MATERIALS.
- 13.) ROAD BASE MATERIAL AND PAVEMENT MATERIALS SHALL BE INSTALLED AROUND STRUCTURES IN ACCORDANCE WITH BASE AND PAVEMENT PREPARATION INSTRUCTIONS.
- 14.) MANHOLE ACCESS FRAME AND COVER SHALL CONSIST OF EAST JORDAN IRONWORKS 5523A/5524Z FRAME AND 5520 M5 COVER.
- 15.) FRAME AND COVER SHALL BE ADJUSTED TO FINISH GRADE USING LAYERS OF MORTAR AND BRICK.

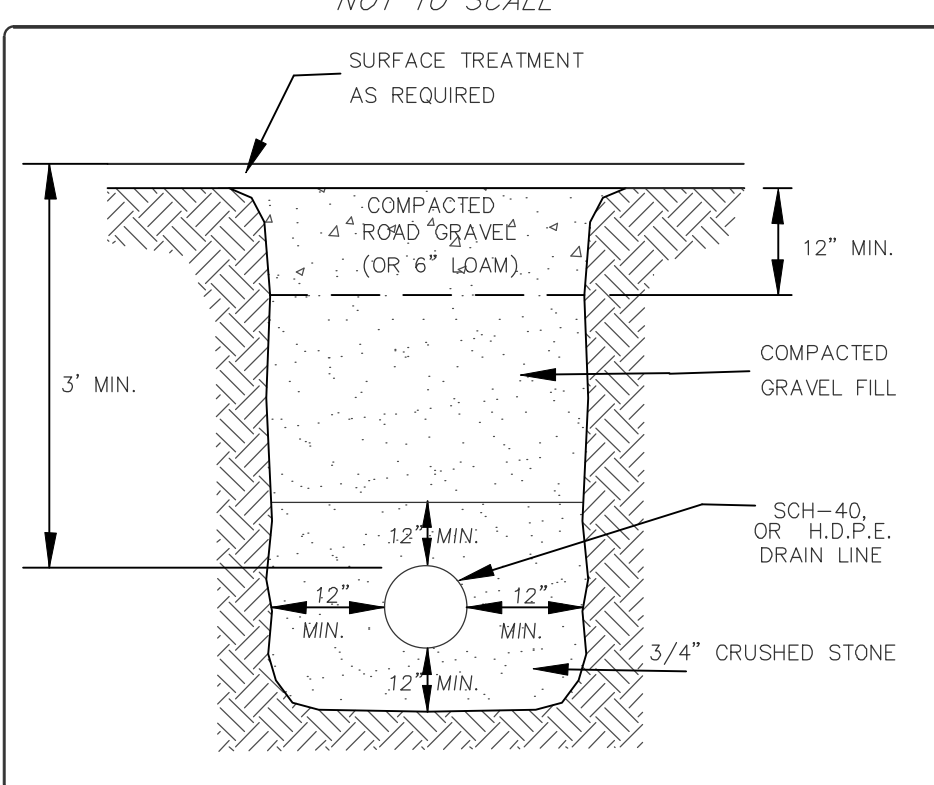
DOUBLE GRATE CATCH BASIN TOP
NOT TO SCALE



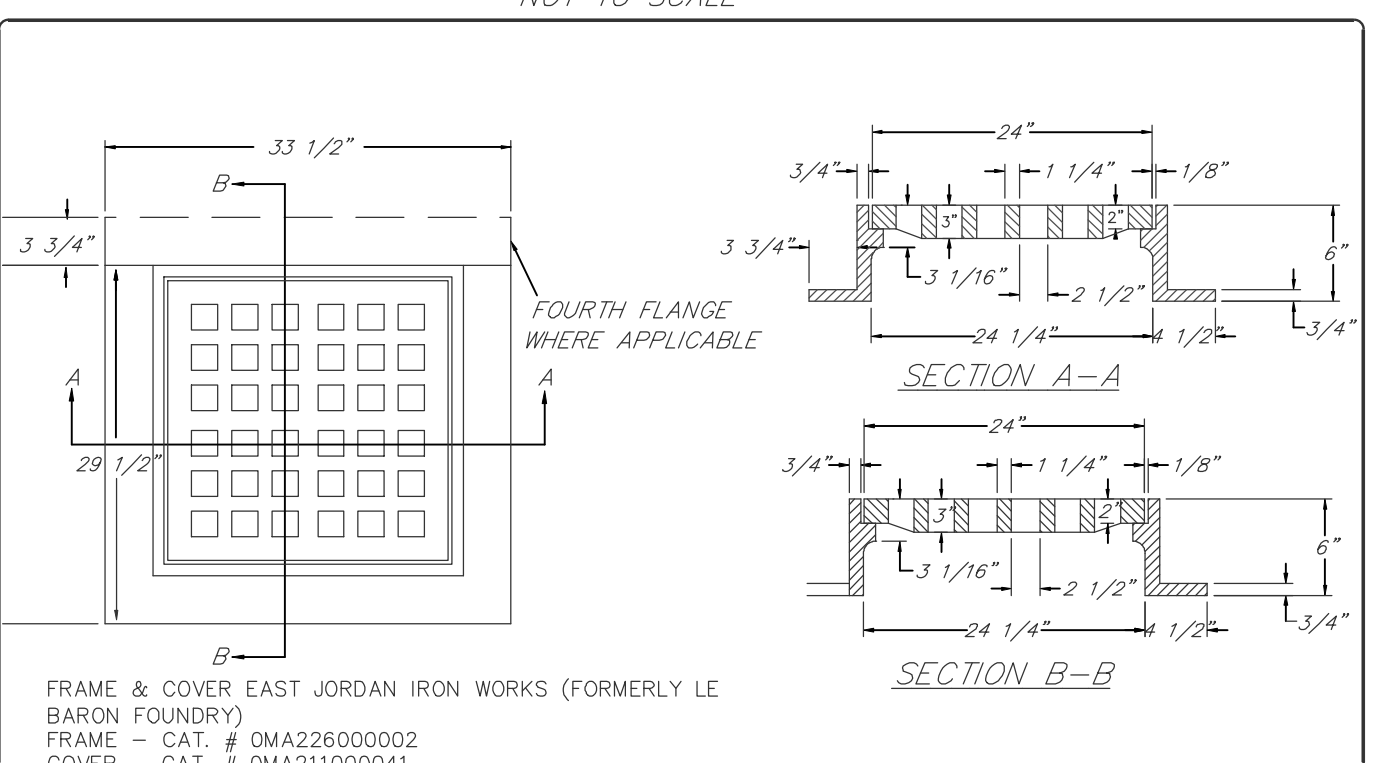
STANDARD DRAIN MANHOLE FRAME & COVER
NOT TO SCALE



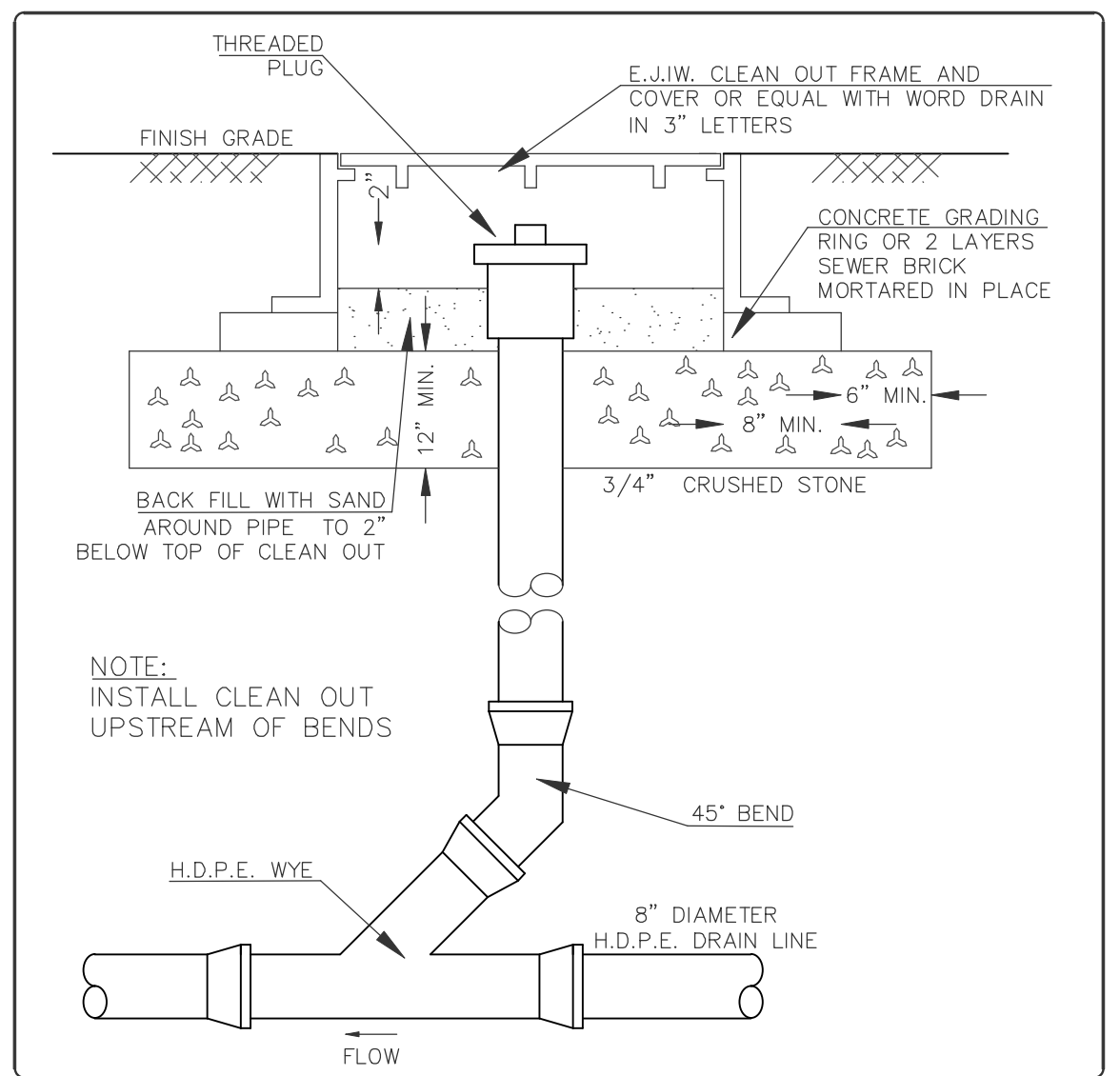
TYPICAL DRAIN LINE TRENCH
NOT TO SCALE



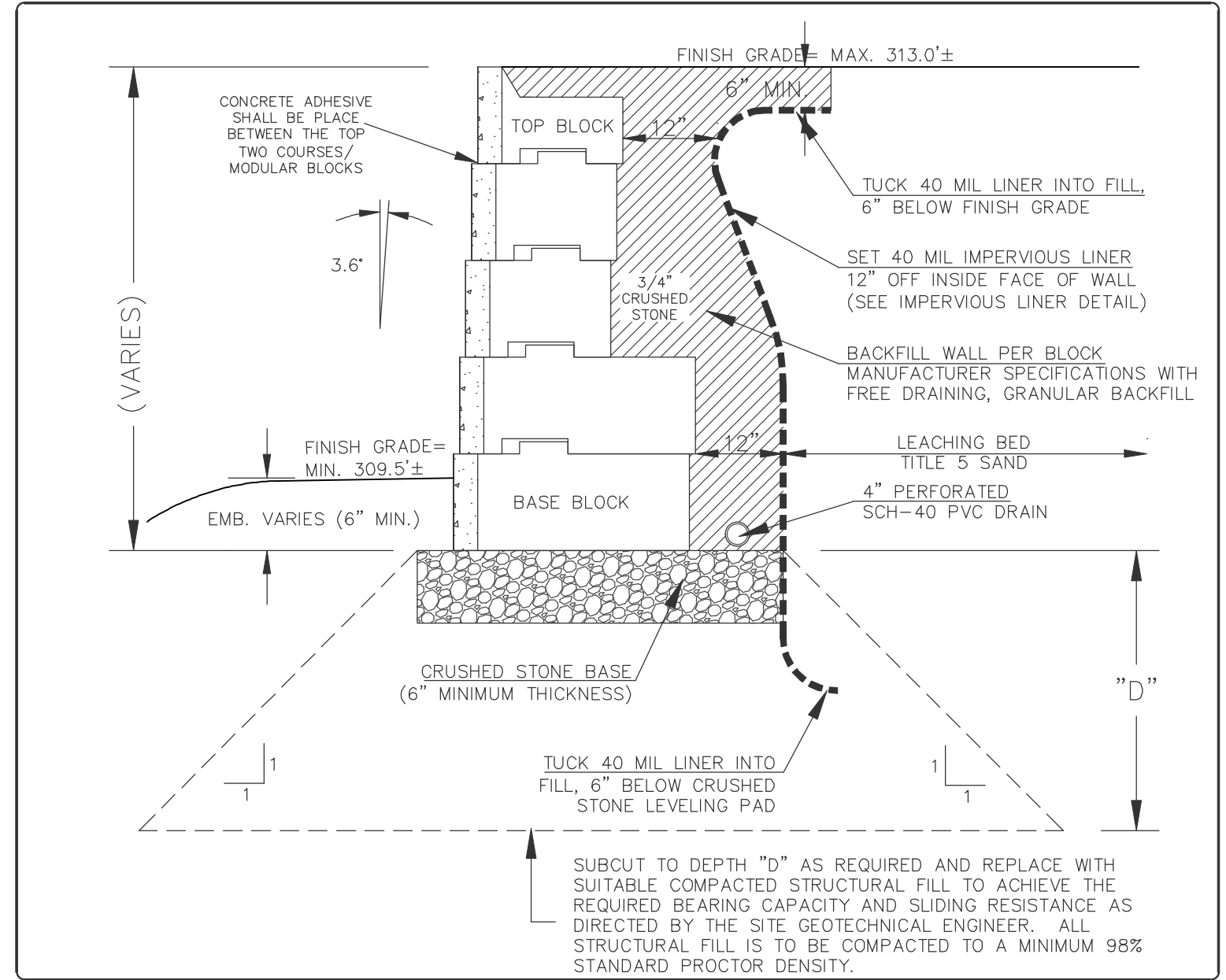
SQUARE CATCH BASIN FRAME & GRATE
NOT TO SCALE



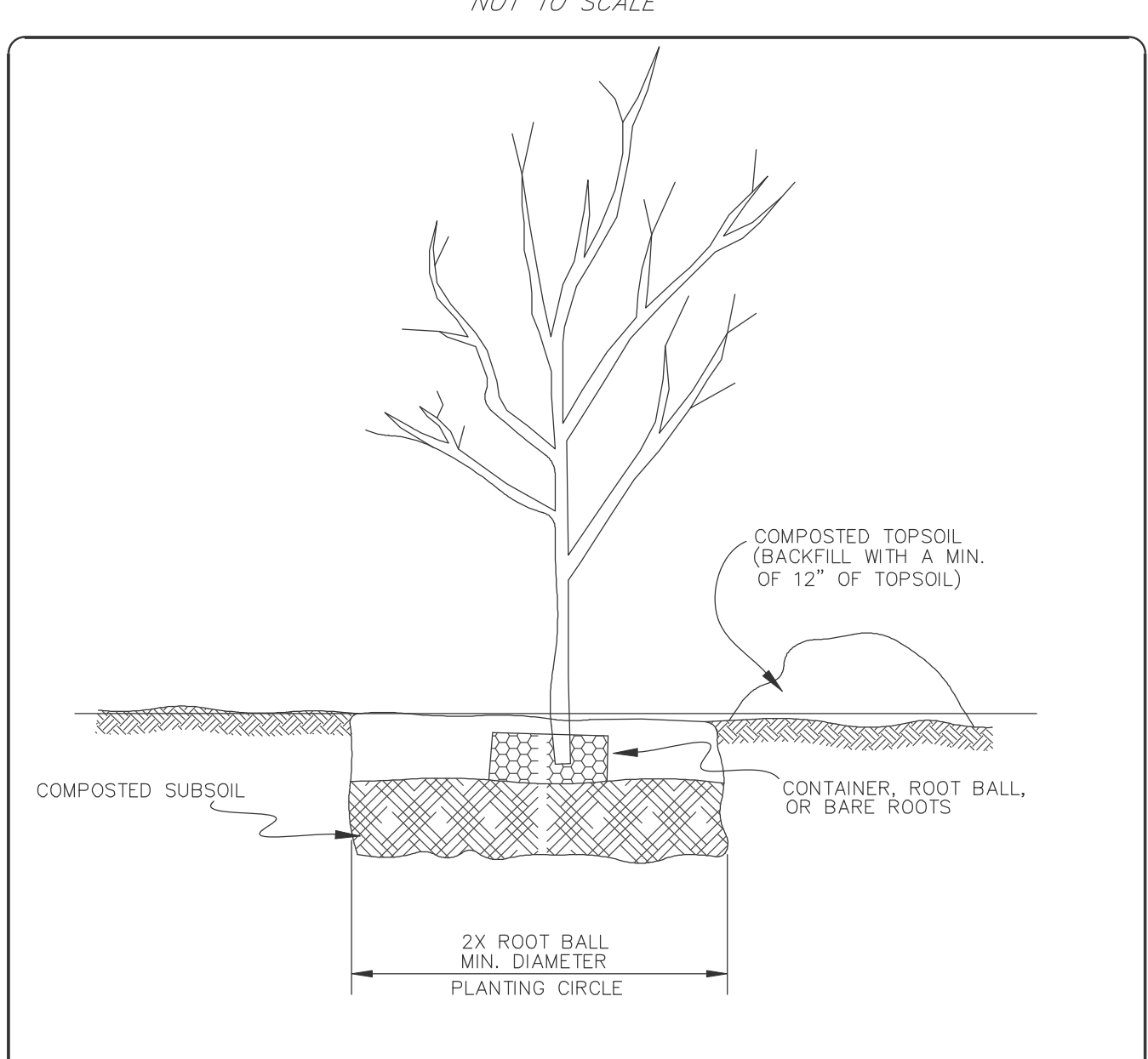
DRAIN LINE CLENAOUT
NOT TO SCALE



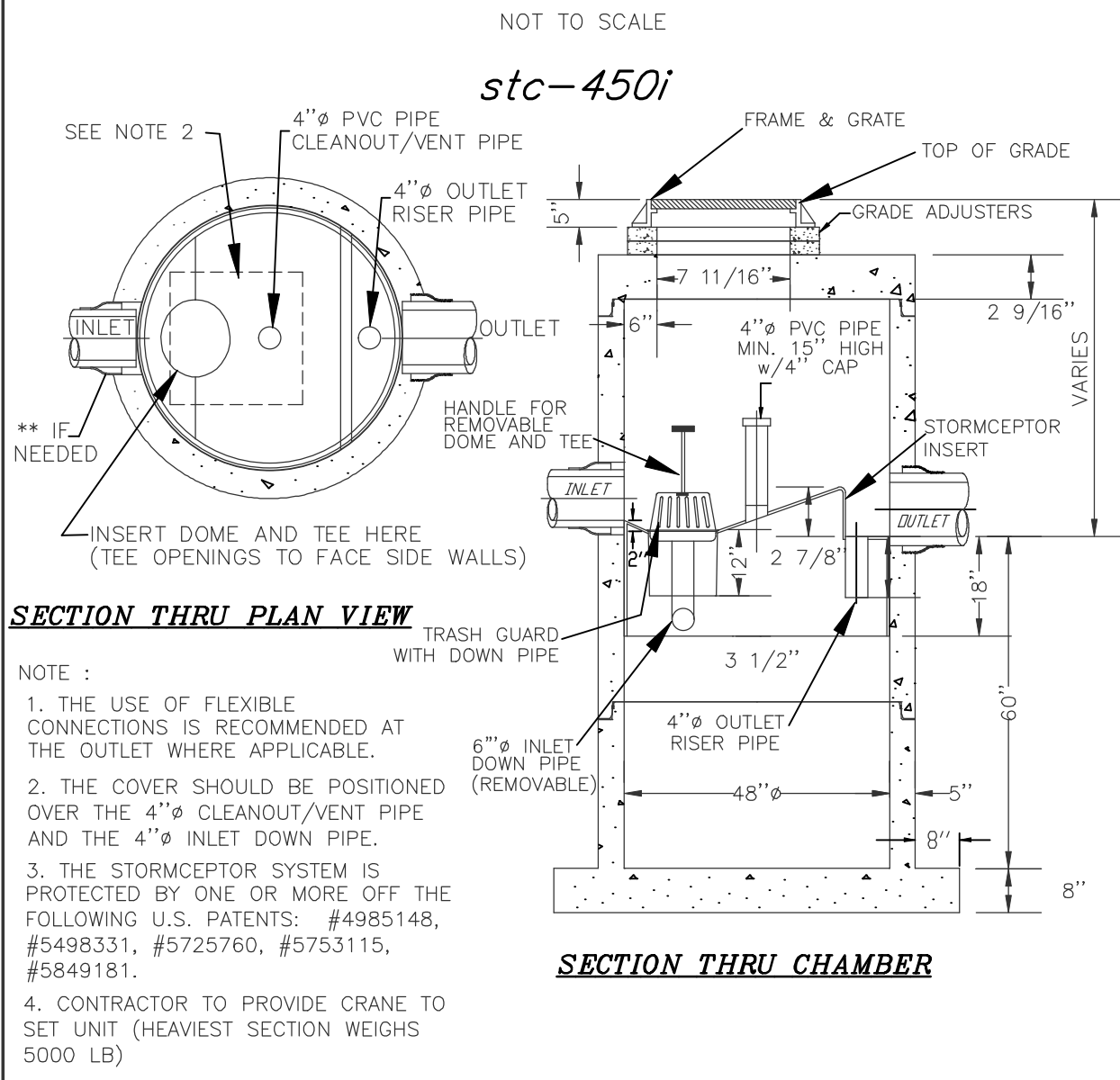
TYPICAL MODULAR BLOCK RETAINING WALL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE



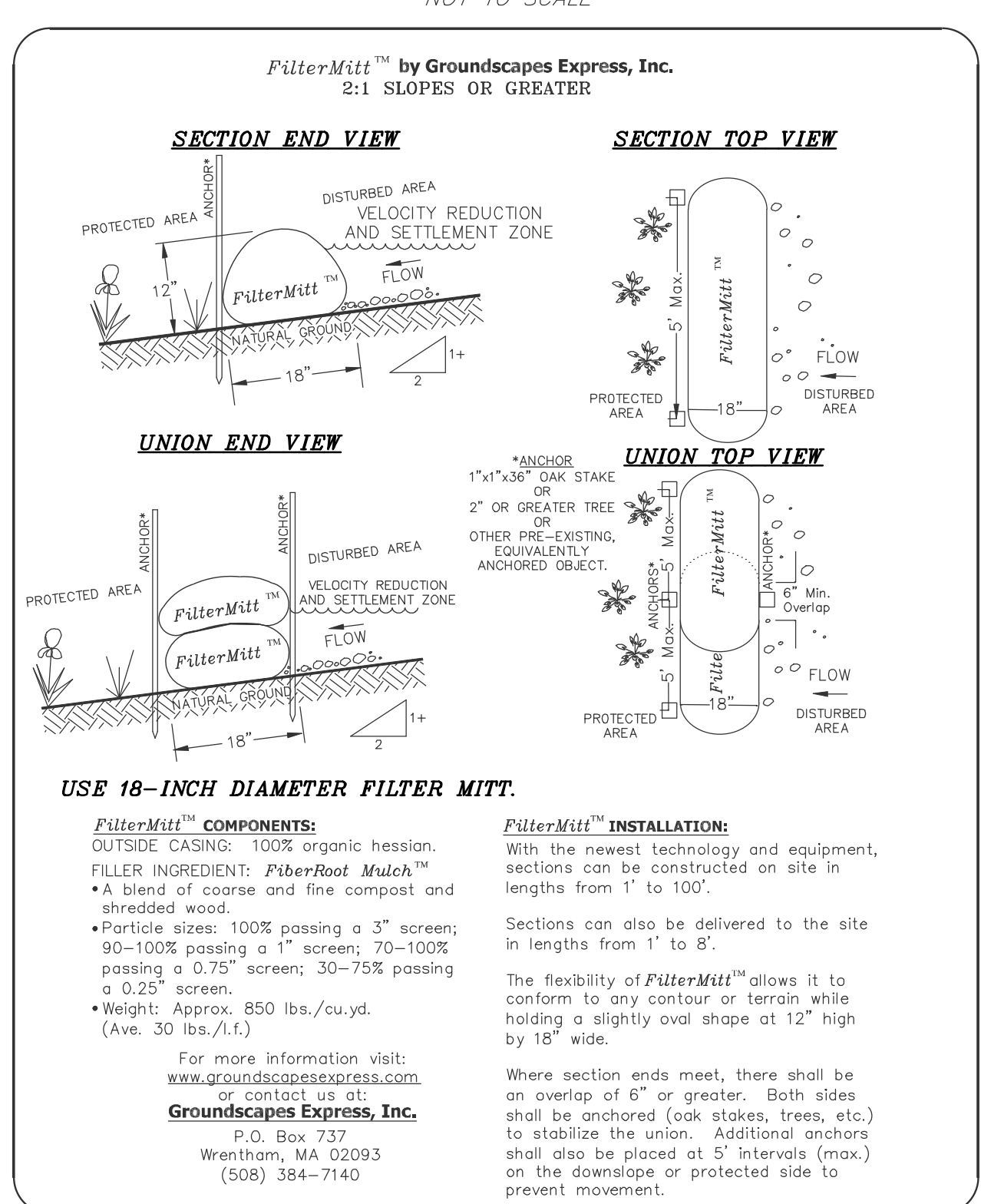
STORMCEPTOR
NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE MATERIALS AND INSTALLATION

- 1.) ALL MATERIALS ASSOCIATED SHALL BE IN ACCORDANCE WITH THE DESIGN PLANS, THE TOWN OF MENDON DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS.
- 2.) STORMCEPTOR UNITS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- 3.) FILTER FABRIC SHALL BE MIRAFI 140N (TENCATE INDUSTRIES) OR APPROVED EQUAL.
- 4.) MANHOLES SHALL BE CONSTRUCTION OF REINFORCED PRECAST CONCRETE BASE SECTION, BARREL SECTION AND DOME SECTION MEETING THE REQUIREMENTS OF ASTM C78 AND AASHTO M199. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I.
- 5.) IN CASES WHERE VERTICAL TOLERANCE DOES NOT PERMIT A CONE TOP SECTION, A PRECAST CONCRETE FLAT SECTION MAY BE USED.
- 6.) MANHOLES SHALL MEET OR EXCEED HS-20 LOADING REQUIREMENTS.
- 7.) MANHOLES SHALL HAVE A MINIMUM OPENING OF 26-INCHES AND A MINIMUM INSIDE DIAMETER OF FOUR- FEET (4').
- 7.) MANHOLES SHALL HAVE TONGUE AND GROOVE JOINTS BETWEEN SECTIONS THAT ARE MORTARED OR SEALED WITH BUTYL RUBBER SEALANTS.
- 8.) PIPE INLETS AND OUTLETS SHALL BE SEALED WITH MORTAR OR RUBBER SEALANTS OR BOOT TYPE CONNECTIONS.
- 9.) DRAIN MANHOLES SHALL BE PLACED ON A LAYER OF COMPACTED, LEVEL, BEDDING MATERIAL NOT LESS THAN SIX-INCHES IN HEIGHT.
- 10.) MANHOLE SECTIONS SHALL BE CAREFULLY PLACED SO THAT ALL SECTIONS ARE LEVEL AND PLUMB.
- 11.) EXCAVATION AROUND THE MANHOLE STRUCTURES SHALL BE BACKFILLED AND COMPACTED IN TWELVE-INCH (12") LIFTS WITH SUITABLE MATERIALS.
- 12.) ROAD BASE MATERIAL AND PAVEMENT MATERIALS SHALL BE INSTALLED AROUND STRUCTURES IN ACCORDANCE WITH BASE AND PAVEMENT PREPARATION INSTRUCTIONS.
- 13.) MANHOLE ACCESS FRAME AND COVER SHALL CONSIST OF EAST JORDAN IRONWORKS 2111A/2111Z FRAME AND COVER.
- 14.) FRAME AND COVER SHALL BE ADJUSTED TO FINISH GRADE USING LAYERS OF MORTAR AND BRICK.
- 15.) FRAME AND COVERS SHALL MEET ASTM A888 AND MADE FROM CLASS 20, GREY CAST IRON.

EROSION CONTROL BARRIER
NOT TO SCALE



REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967

DETAILS PLAN
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHASANT LANE
MANCHESTER, NH 03109

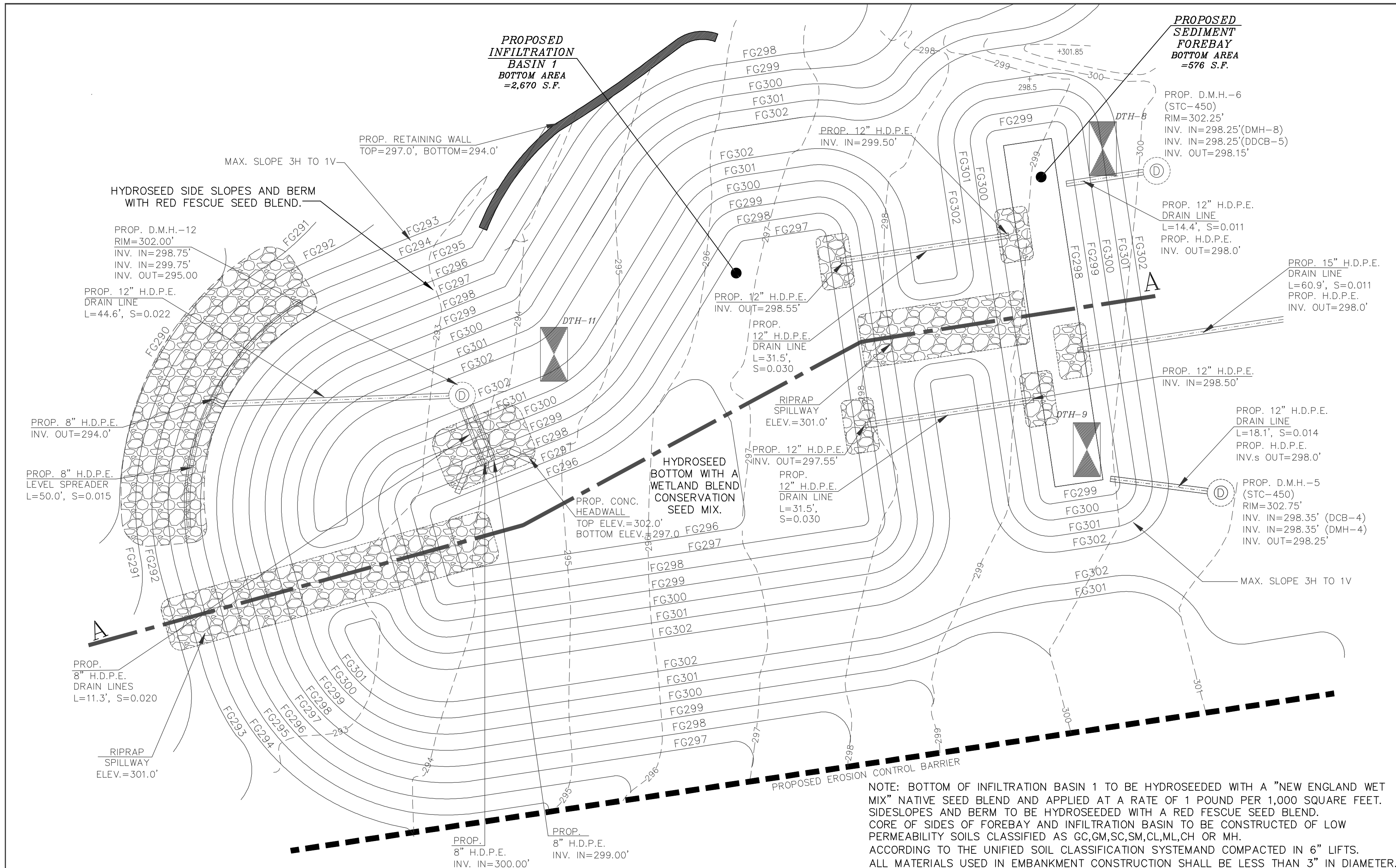
PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C701 DATE: JANUARY 4, 2021
CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

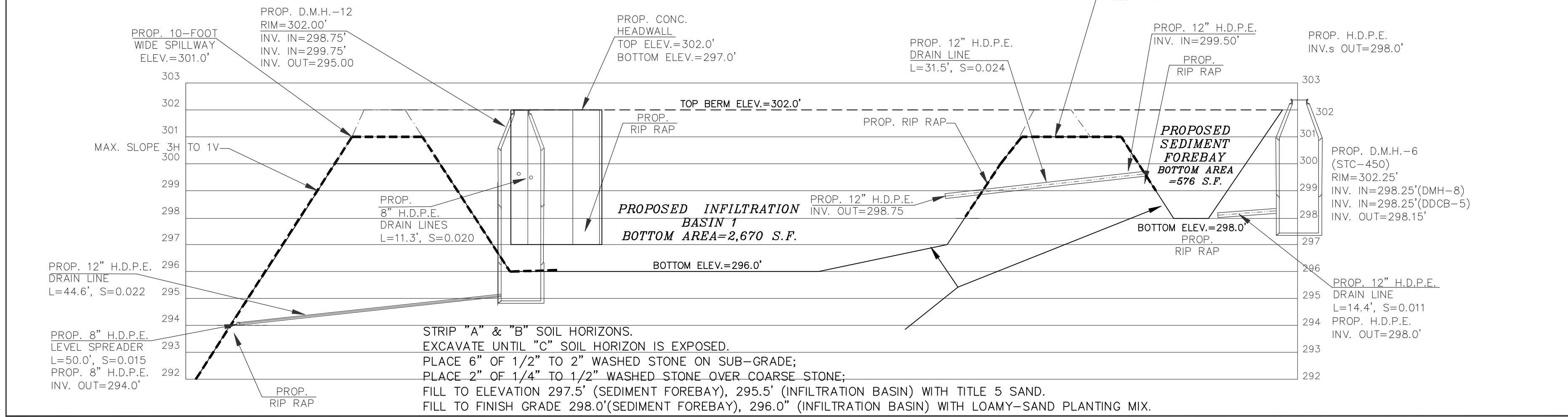
SEDIMENT FOREBAY AND INFILTRATION BASIN 1 DETAIL

NOT TO SCALE



NOTE: BOTTOM OF INFILTRATION BASIN 1 TO BE HYDROSEEDED WITH A "NEW ENGLAND WET MIX" NATIVE SEED BLEND AND APPLIED AT A RATE OF 1 POUND PER 1,000 SQUARE FEET. SIDESLOPES AND BERM TO BE HYDROSEEDED WITH A RED FESCUE SEED BLEND. CORE OF SIDES OF FOREBAY AND INFILTRATION BASIN TO BE CONSTRUCTED OF LOW PERMEABILITY SOILS CLASSIFIED AS GC,GM,SC,SM,CL,ML,CH OR MH. ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM AND COMPACTED IN 6" LIFTS. ALL MATERIALS USED IN EMBANKMENT CONSTRUCTION SHALL BE LESS THAN 3" IN DIAMETER.

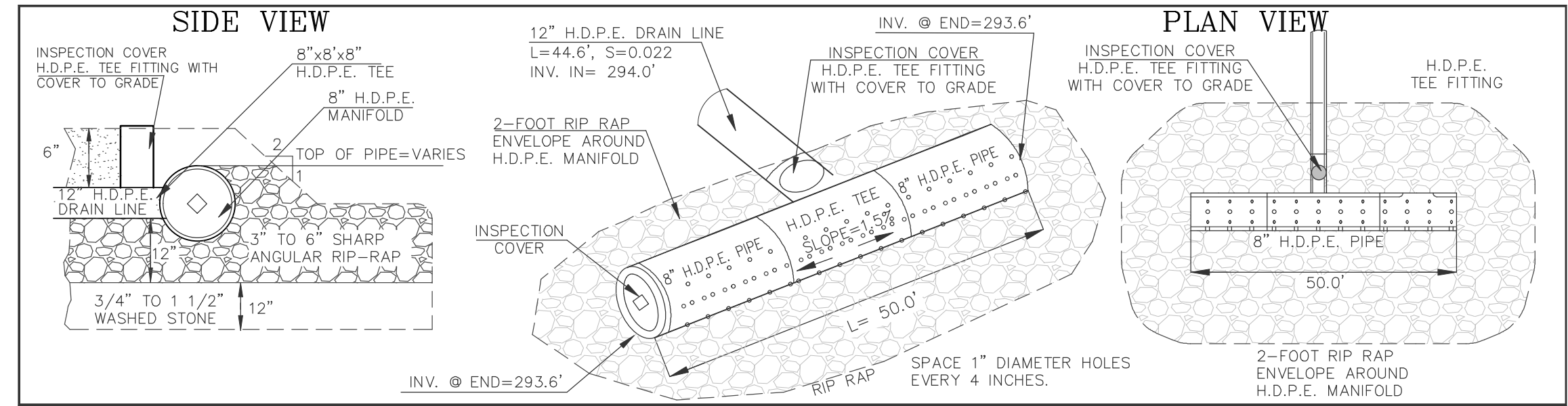
SECTION A-A



STRIP "A" & "B" SOIL HORIZONS. EXCAVATE UNTIL "C" SOIL HORIZON IS EXPOSED. PLACE 6" OF 1/2" TO 2" WASHED STONE ON SUB-GRADE; PLACE 2" OF 1/4" TO 1/2" WASHED STONE OVER COARSE STONE; FILL TO ELEVATION 297.5' (SEDIMENT FOREBAY), 295.5' (INFILTRATION BASIN) WITH TITLE 5 SAND. FILL TO FINISH GRADE 298.0'(SEDIMENT FOREBAY), 296.0' (INFILTRATION BASIN) WITH LOAMY-SAND PLANTING MIX.

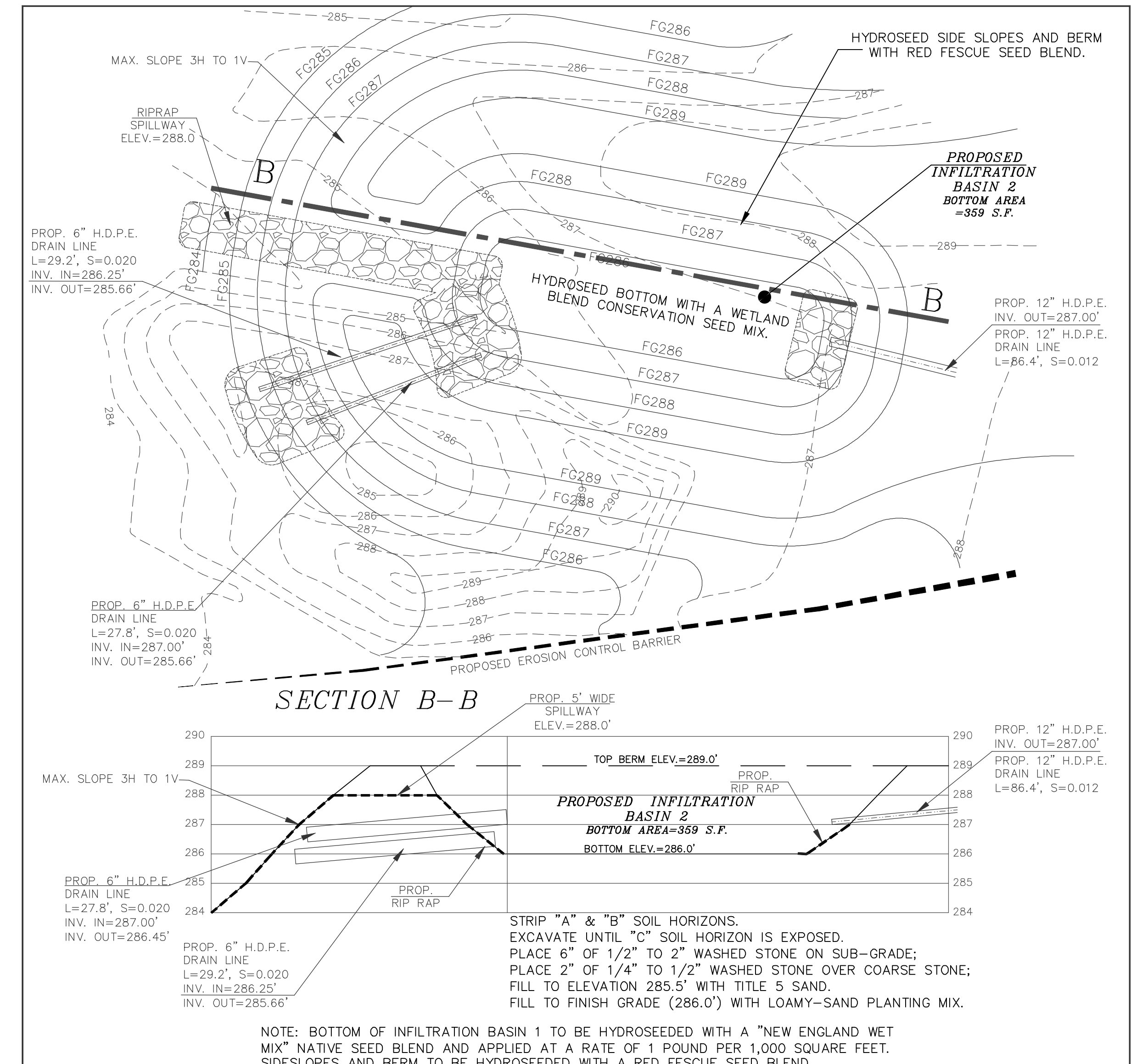
LEVEL SPREADER FLOW MANIFOLD DETAIL

NOT TO SCALE



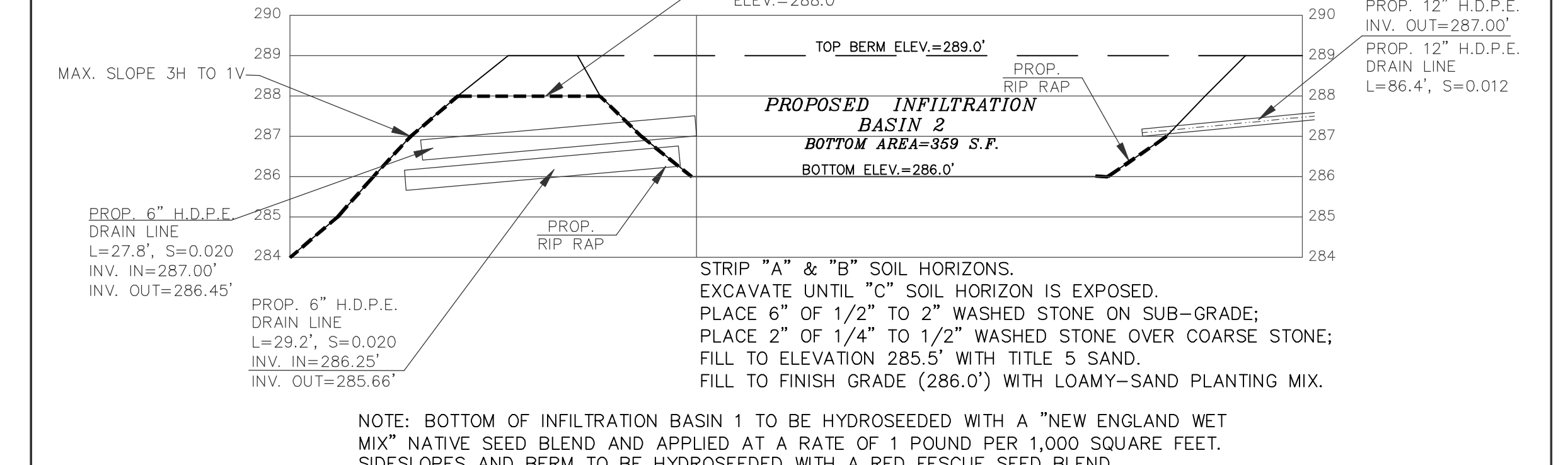
INFILTRATION BASIN 2 DETAIL

NOT TO SCALE



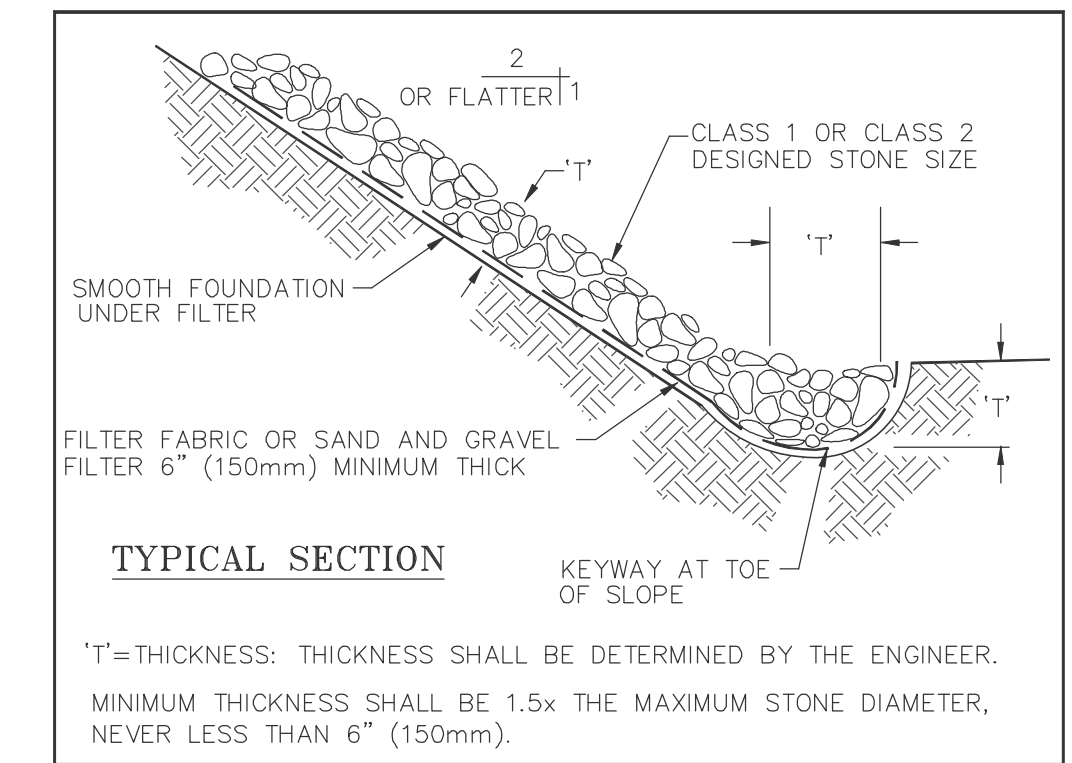
NOTE: BOTTOM OF INFILTRATION BASIN 2 TO BE HYDROSEEDED WITH A "NEW ENGLAND WET MIX" NATIVE SEED BLEND AND APPLIED AT A RATE OF 1 POUND PER 1,000 SQUARE FEET. SIDESLOPES AND BERM TO BE HYDROSEEDED WITH A RED FESCUE SEED BLEND. CORE OF SIDES OF FOREBAY AND INFILTRATION BASIN TO BE CONSTRUCTED OF LOW PERMEABILITY SOILS CLASSIFIED AS GC,GM,SC,SM,CL,ML,CH OR MH. ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM AND COMPACTED IN 6" LIFTS. ALL MATERIALS USED IN EMBANKMENT CONSTRUCTION SHALL BE LESS THAN 3" IN DIAMETER.

SECTION B-B



RIP RAP AND SPILLWAY DETAIL

NOT TO SCALE



"T"=THICKNESS: THICKNESS SHALL BE DETERMINED BY THE ENGINEER. MINIMUM THICKNESS SHALL BE 1.5x THE MAXIMUM STONE DIAMETER, NEVER LESS THAN 6" (150mm).

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967

DETAILS PLAN
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHEASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

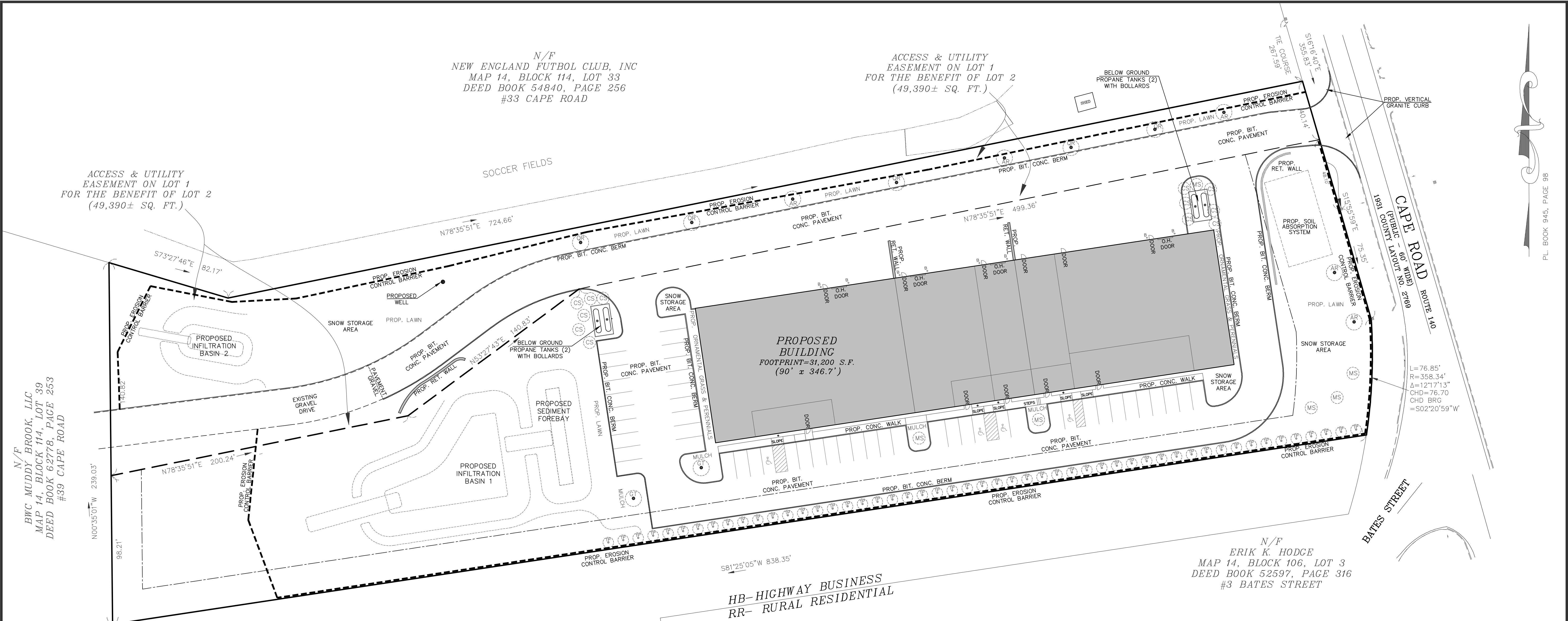
ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C702 DATE: JANUARY 4, 2021
CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

N/F
NEW ENGLAND FUTBOL CLUB, INC
MAP 14, BLOCK 114, LOT 33
DEED BOOK 54840, PAGE 256
#33 CAPE ROAD

ACCESS & UTILITY
EASEMENT ON LOT 1
FOR THE BENEFIT OF LOT 2
(49,390± SQ. FT.)

ACCESS & UTILITY
EASEMENT ON LOT 1
FOR THE BENEFIT OF LOT 2
(49,390± SQ. FT.)

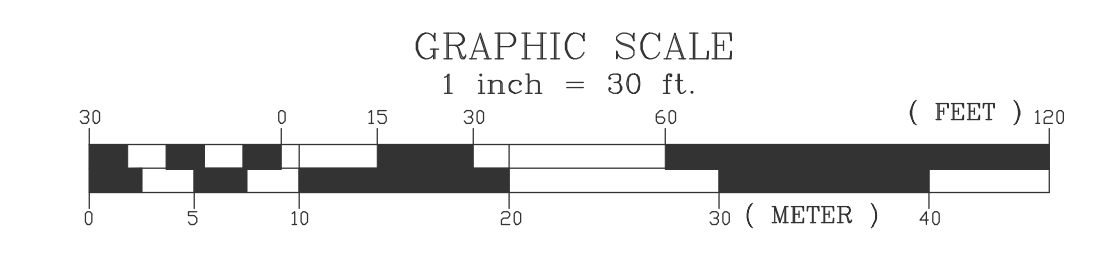


N/F
ERIK K. HODGE
MAP 14, BLOCK 106, LOT 3
DEED BOOK 52597, PAGE 316
#3 BATES STREET

HB-HIGHWAY BUSINESS
RR- RURAL RESIDENTIAL

ZONING:
HB-HIGHWAY BUSINESS
ALL PERMITTED USES
MINIMUM AREA= 40,000 SQUARE FEET
MINIMUM FRONTAGE= 200 FEET
SETBACKS:
FRONT YARD= 50 FEET
SIDE YARD= 20 FEET
REAR YARD= 20 FEET
MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
MAXIMUM LOT COVERAGE= 30%

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046



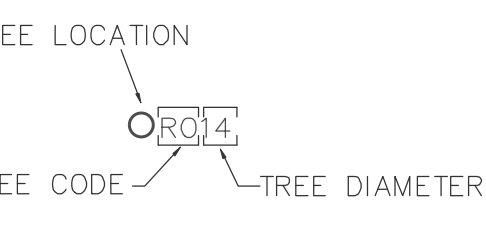
NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 14, BLOCK 114, LOT 35. RECORD TITLE FROM DEED BOOK 55043, PAGE 262.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25027C1032E, BEARING AN EFFECTIVE DATE OF JULY 04, 2011.

HB-HIGHWAY BUSINESS
RR- RURAL RESIDENTIAL

TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
BW	BLACK WALNUT
QA	QUAKING ASPEN
DEC	DECIDUOUS
HK	HEMLOCK
HOL	HOLLY
JM	JAPANESE MAPLE
PR	PEAR
RM	RED MAPLE
RO	RED OAK
RP	RED PINE
SM	SUGAR MAPLE
SNAG	SNAG
WA	WHITE ASH
WP	WHITE PINE
DBL	DOUBLE



LEGEND

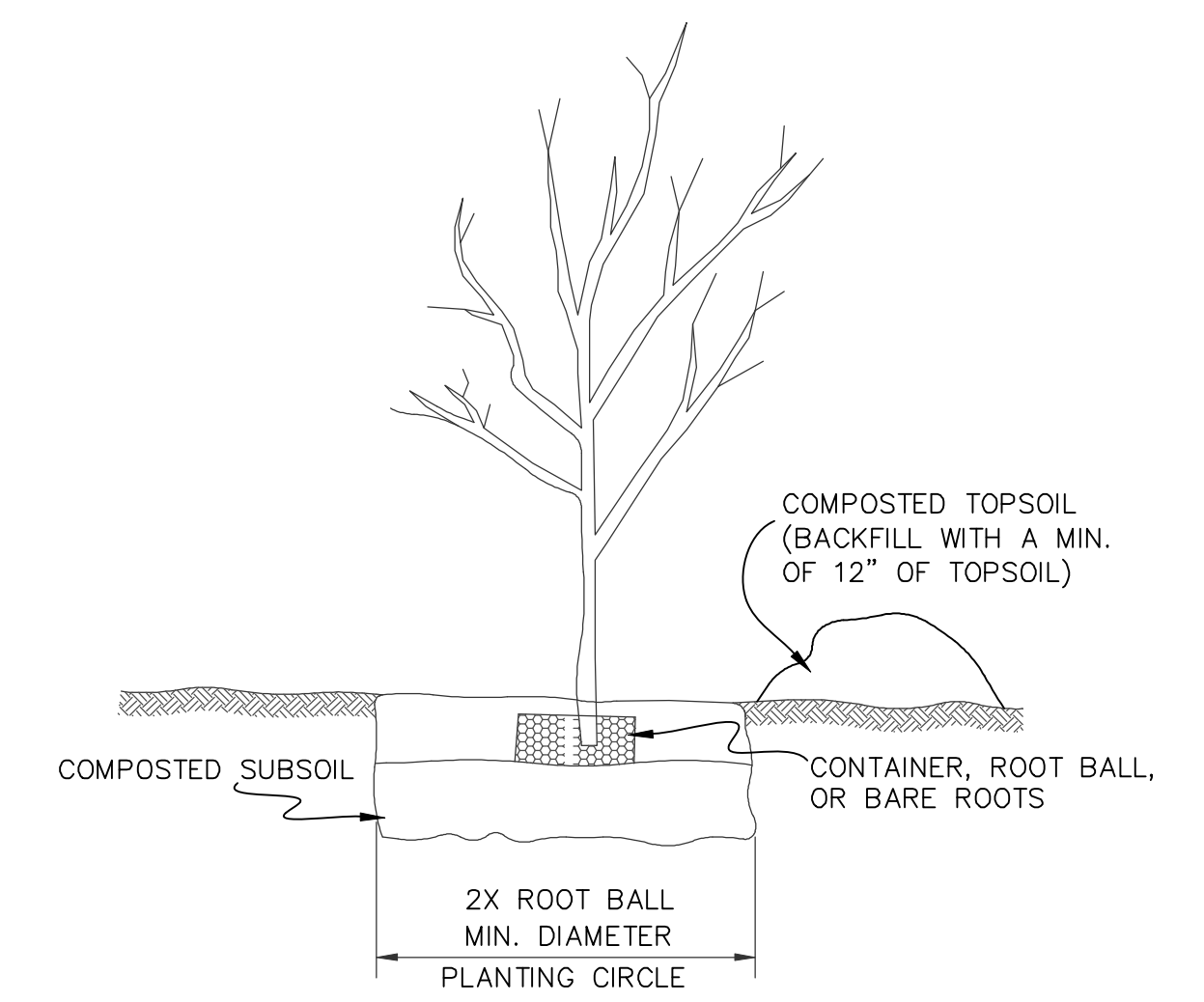
A.C.P.	ASBESTOS CONCRETE PIPE
B.C.B.	BITUMINOUS CONCRETE BERM
B.H.	BULKHEAD
B.W.	BAY WINDOW
C.B.K.	CENTER BACK
CHD	CHORD LENGTH
CHD BRG	CHORD BEARING
D.H.	DRILL HOLE
DIAM.	DIAMETER
D.Y.L.	DOUBLE YELLOW LINE
E.O.P.	EDGE OF PAVEMENT
(F)	FOUND
G.F.E.	GARAGE FLOOR ELEVATION
L	LENGTH
L.P.	LIGHT POST
M.H.B.	MASS. HIGHWAY BOUND
N/F	NOW OR FORMERLY
O.H.W.	OVERHEAD WIRE
P.	STONE POST
R	RADIUS
S.W.L.	SINGLE WHITE LINE
U.P.#	UTILITY POLE
W.F.	WOOD FRAME
W.G.	WATER GATE
Δ	DELTA
+100.0	EXISTING SPOT GRADE
-100.0	EXISTING GRADING
W	EXISTING WATERLINE

PROPOSED PLANTING SCHEDULE

TREES			
SYMBOL	SPECIES	QUANTITY	SIZE AT PLANTING
AR	RED MAPLE (ACER RUBRUM)	5	2" CALIPER
ARB	ARBORVITAE (THUJA PLICATA)	50	8-10'
GL	HONEYLOCUST (GLEDTISIA TRIACANTHOS)	2	2" CALIPER
OR	RED OAK (QUERCUS RUBRA)	5	2" CALIPER

SHRUBS			
SYMBOL	SPECIES	QUANTITY	SIZE AT PLANTING
CS	RED-OSIER DOGWOOD (CORNUS SERICEA)	10	2-4'
MS	FLOWERING CRABAPPLE (MALUS SP.)	5	2-4'

TREE & SHRUB PLANTING DETAIL
NOT TO SCALE



PROPOSED LANDSCAPE PLAN
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
39 PHEASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C800 DATE: JANUARY 6, 2021

CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010621_R1.dwg



NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 14, BLOCK 114, LOT 35. RECORD TITLE FROM DEED BOOK 55043, PAGES 261.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
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- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 25027C1032E, BEARING AN EFFECTIVE DATE OF JULY 04, 2011.



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

PROJECT CONTACTS

35 CAPE ROAD LLC

JOHN BOGGIA
38 PHEASANT LANE
MANCHESTER, NH 03109
(603) 234-1401

FRAN MARCOUX
52 SHADY LANE
DOUGLAS MA 01516
(508) 843-8339

SHEET INDEX

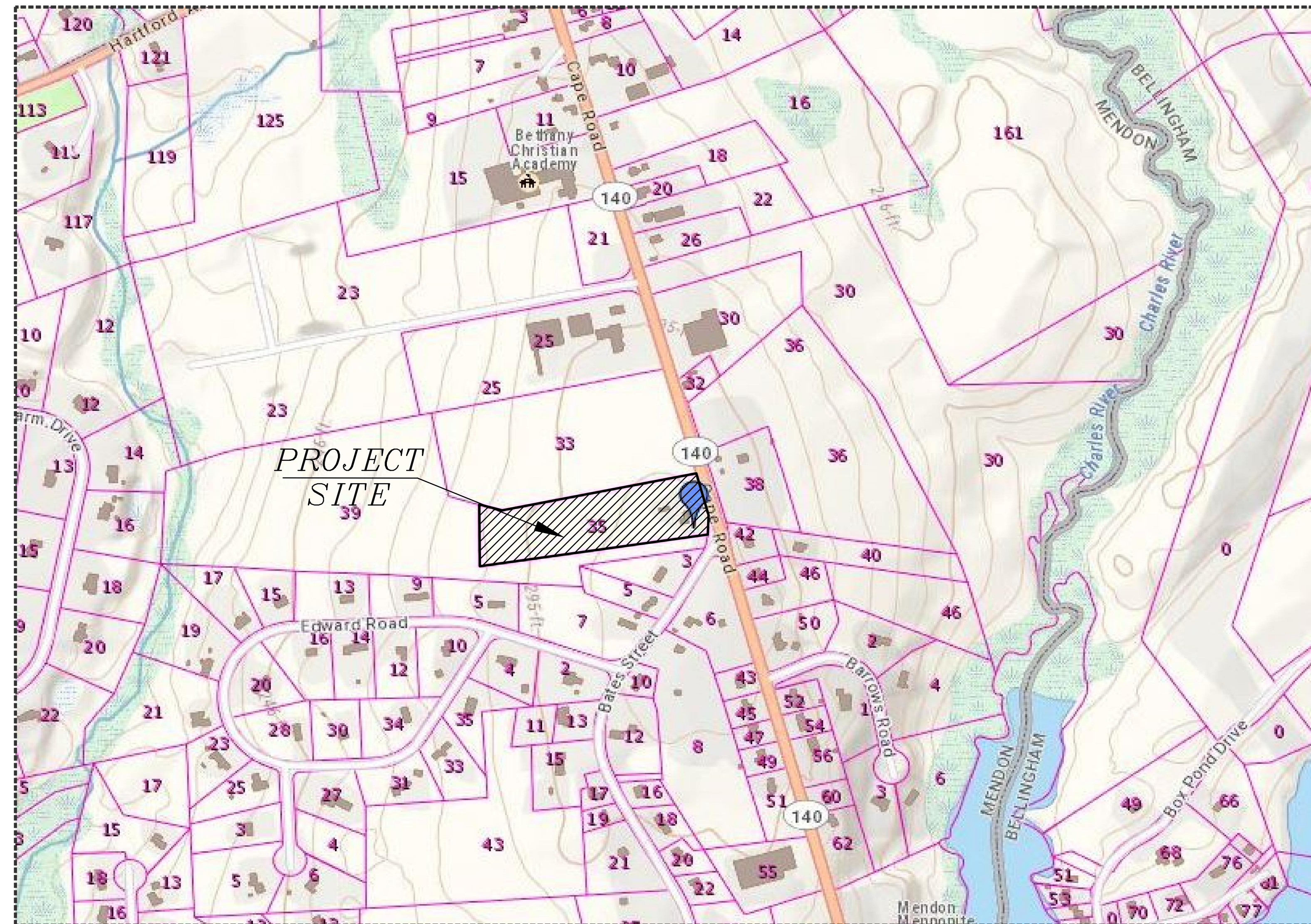
- COVER SHEET
- SHEET C100 — EXISTING CONDITIONS SITE PLAN
- SHEET C200 — EROSION AND SEDIMENT CONTROL PLAN
- SHEET C300 — PROPOSED LAYOUT PLAN
- SHEET C400-C401 — PROPOSED GRADING PLANS
- SHEET C500-C501 — PROPOSED SITE PLANS
- SHEET C600 — LOCUS PLAN
- SHEET C700-C702 — DETAILS PLANS
- SHEET C800 — PROPOSED LANDSCAPE PLAN

PROPOSED PARKING REQUIREMENTS

PROPOSED USE	FLOOR AREA	PARKING REQUIREMENT	TOTAL
PROPOSED BUILDING	31,200 SQUARE FEET	1 SPACE PER 1000 S.F. OF FLOOR AREA	31.2
TOTAL NUMBER OF REQUIRED PARKING SPACES			32
TOTAL NUMBER OF PROPOSED PARKING SPACES			50

PARKING REQUIREMENTS TAKEN FROM SECTION 2.03 (b) OF TOWN OF MENDON ZONING BYLAWS FOR WHOLESALE, MANUFACTURING, CONTRACTORS YARDS, WAREHOUSING.

PROPOSED SITE PLAN SET
PROPOSED SITE REDEVELOPMENT
35 CAPE ROAD
MENDON, MASSACHUSETTS



NO SCALE

MENDON PLANNING BOARD
SITE PLAN REVIEW

DATE: _____

THE ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.

ZONING:

HB-HIGHWAY BUSINESS
ALL PERMITTED USES
MINIMUM AREA= 40,000 SQUARE FEET
MINIMUM FRONTAGE= 200 FEET
SETBACKS:
FRONT YARD= 50 FEET
SIDE YARD= 20 FEET
REAR YARD= 20 FEET
MAXIMUM BUILDING HEIGHT= 35 FEET (2 STORIES)
MAXIMUM LOT COVERAGE= 30%

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	02/23/21	ADDRESS TOWN REVIEW AND MASSDOT COMMENTS	BTN

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.E.(CIVIL) # 31967
P.L.S. # 37046

COVER SHEET
#35 CAPE ROAD
IN
MENDON, MASS

PREPARED FOR:
ARES CONSTRUCTION
38 PHEASANT LANE
MANCHESTER, NH 03109

PROPERTY OF:
WENCER REALTY, LLC
1040 SOUTH MAIN STREET
BELLINGHAM, MA 02019

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET 1 OF 1 DATE: JANUARY 4, 2021

CALC'D BY: BTN FIELD BK: 712 CAD FILE: ARES_P_SITE PLAN3_R2.dwg
DRAFTER: JTS/BTN PROJECT: MND_CAP DWG FILE: SP010421_R1.dwg

ZONING TABLE: 35 CAPE ROAD
MAP 114, BLOCK 114, LOT 35

DESCRIPTION	REQUIRED HIGHWAY BUSINESS	EXISTING	PROPOSED
LOT AREA	40,000 SQ. FT. (MIN.)	182,166 SQ. FT.	182,166 SQ. FT.
LOT FRONTAGE	200 FT. (MIN.)	240.44 FT.	240.44 FT.
FRONT YARD SETBACK	50 FT. (MIN.)	14.0 FT.	83.9 FT.
SIDE YARD SETBACK	20 FT. (MIN.)	44.7 FT.	59.0 FT.
REAR YARD SETBACK	20 FT. (MIN.)	665.6 FT.	408.5 FT.
MAX BUILDING HEIGHT	35 FT. (2.5 STORIES)	2.0 STORIES	18 FT. 1 (STORY)
FLOOR AREA	N.A.	4,904 SQ. FT.	31,200 SQ. FT.
FLOOR AREA RATIO	N.A.	0.027± (2.2%)	0.171 (17.1%)
MAX. BUILDING COVERAGE	30%	0.020 (2.0%)	0.171 (17.1%)
BUILDING AREA	N.A.	3,594 SQ. FT.	31,200 SQ. FT.
OTHER IMPERVIOUS SURFACES	N.A.	20,579 SQ. FT.	61,349 SQ. FT.
TOTAL IMPERVIOUS AREA	N.A.	24,173 SQ. FT.	92,549 SQ. FT.
PARKING	32 SPACES	0 SPACES	50 SPACES
HANDICAP PARKING	3 SPACES	0 SPACES	4 SPACES
UPLAND AREA	N.A.	182,166 SQ. FT.	182,166 SQ. FT.