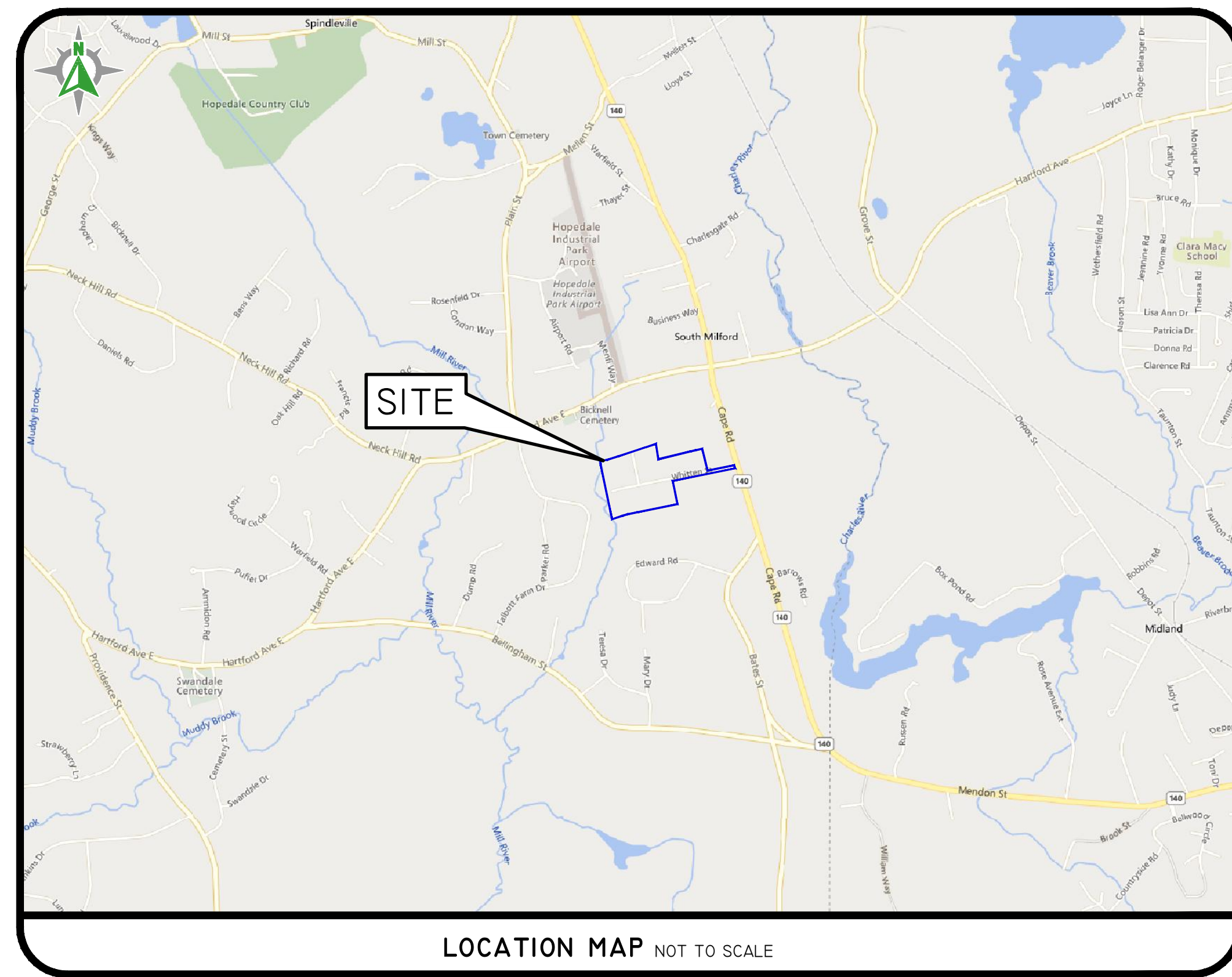


# PERMITTING PLANS

# 23 CAPE ROAD REDEVELOPMENT

23 CAPE ROAD  
MENDON, MA

PARCEL ID: 14-114-23



## SHEET LIST TABLE

- |    |                           |    |                               |
|----|---------------------------|----|-------------------------------|
| 1  | COVER SHEET               | 16 | DRAINAGE & UTILITIES PLAN - 1 |
| 2  | AERIAL & HALF MILE RADIUS | 17 | DRAINAGE & UTILITIES PLAN - 2 |
| 3  | NOTES & LEGEND            | 18 | DRAINAGE & UTILITIES PLAN - 3 |
| 4  | DEMOLITION & SESC PLAN    | 19 | DRAINAGE & UTILITIES PLAN - 4 |
| 5  | OVERALL SITE LAYOUT PLAN  | 20 | DRAINAGE & UTILITIES PLAN - 5 |
| 6  | SITE PLAN - 1             | 21 | STORMTECH DETAILS             |
| 7  | SITE PLAN - 2             | 22 | DETAILS SHEET 1               |
| 8  | SITE PLAN - 3             | 23 | DETAILS SHEET 2               |
| 9  | SITE PLAN - 4             | 24 | LANDSCAPE PLAN                |
| 10 | SITE PLAN - 5             | 25 | LANDSCAPE NOTES & DETAILS     |
| 11 | GRADING PLAN - 1          |    |                               |
| 12 | GRADING PLAN - 2          |    |                               |
| 13 | GRADING PLAN - 3          |    |                               |
| 14 | GRADING PLAN - 4          |    |                               |
| 15 | GRADING PLAN - 5          |    |                               |

## SHEETS BY OTHERS

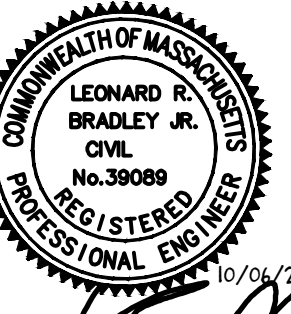
- 1 THROUGH 4 OF 4 - ALTA/NSPS LAND TITLE, EXISTING CONDITIONS, TOPOGRAPHIC, UTILITY AND WETLAND RESOURCE LOCATION SURVEY (PREPARED BY ALPHA SURVEY GROUP, LLC)
- 1 THROUGH 4 OF 4 - LIGHTING LAYOUT (PREPARED BY RAB LIGHTING INC.)

SESC / O&M  
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

**DiPrete Engineering**

105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 617-464-6006 www.diprete-eng.com

Boston • Providence • Newport



*Leonard P. Bradley, Jr.*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STARTED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY PERMITS AND UTILITIES WORKS ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY
1	10-20-2022	SITE PLAN APPLICATION	B.A.W.
2			B.T.
			DESIGN BY: B.A.W.

**COVER SHEET**  
23 CAPE ROAD REDEVELOPMENT  
PARCEL ID: 14-114-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19382

\\NAS01\storage\p\de\main\projects\1954-002 CAPE ROAD 23\AUTOCAD DRAWINGS\1954-002\CVAR.DWG PLOTTED: 10/27/2022

U:\ASSTORAGE\PROJECTS\PROJECTS\05-CAPE ROAD 23\AUTOCAD DRAWINGS\05L-002-CVAR.DWG PLOTTED: 10/6/2022

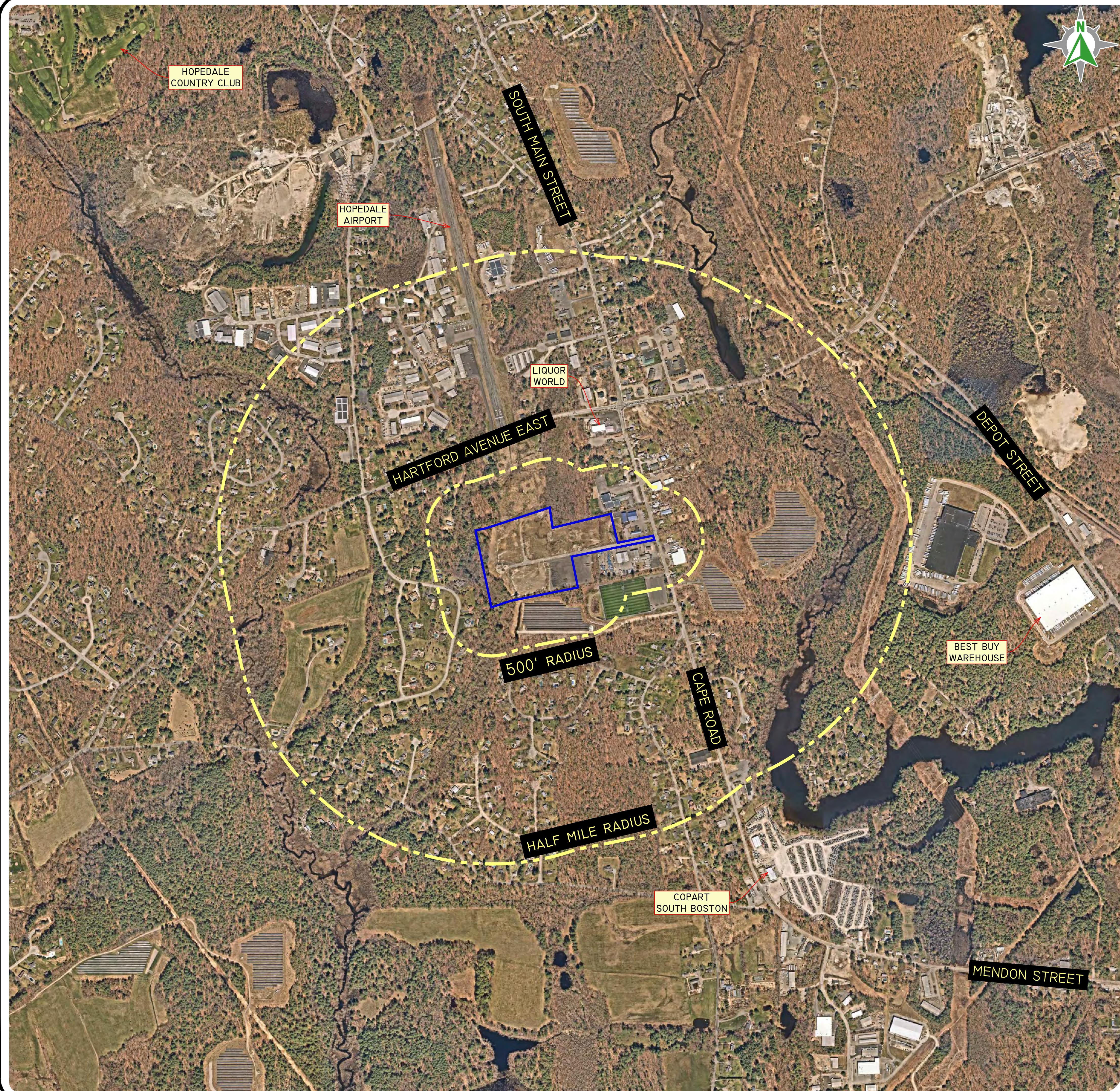
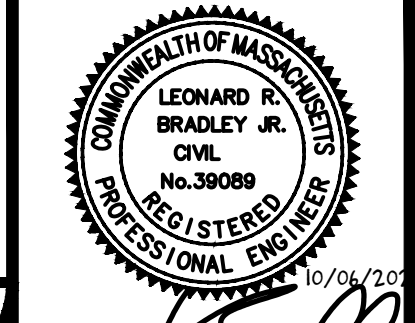
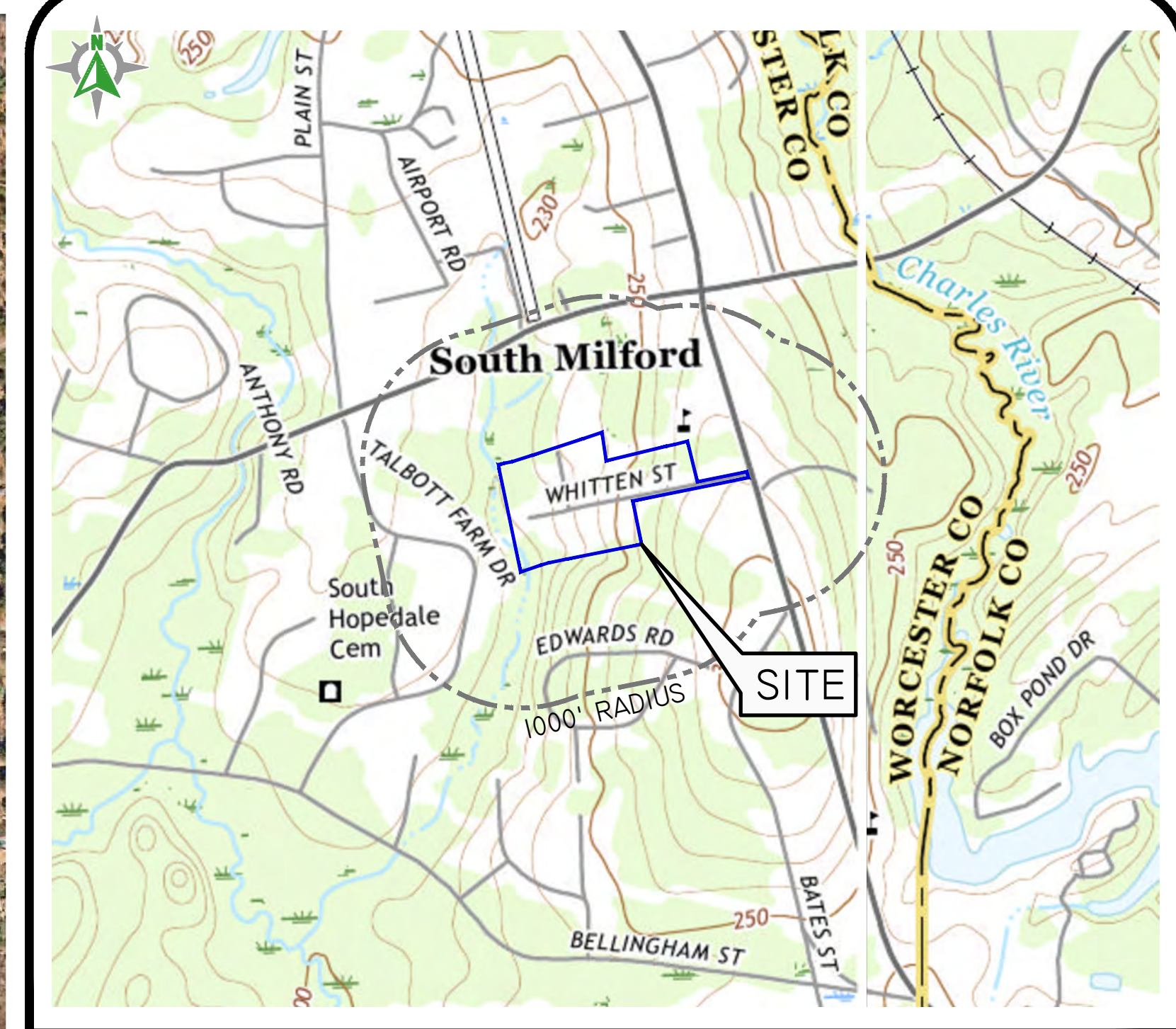
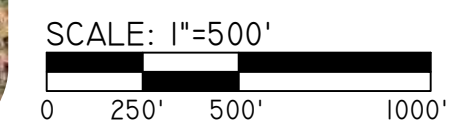


PHOTO OBTAINED FROM NEARMAP.  
DATE OF PHOTOGRAPHY 03/20/2022.



*Leonard Bradley*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHOWN OTHERWISE FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS AND PROGRAMS UTILIZED GOING ON THIS PLAN. THE USER APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO. 10-00-2022	DATE	DESCRIPTION	DESIGN BY: F.J.D.
NO. 10-00-2022	DATE	DESCRIPTION	DESIGN BY: F.J.D.
NO. 10-00-2022	DATE	DESCRIPTION	DESIGN BY: F.J.D.

**AERIAL & HALF MILE RADIUS**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS  
PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19380  
DE. JOB NO. 254-002. COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**

GENERAL NOTES:

- 1. THE SITE IS LOCATED IN THE TOWN OF MENDON, MASSACHUSETTS.
2. THE SITE IS APPROXIMATELY 21.3 ACRES AND IS ZONED HIGHWAY BUSINESS.
3. THE OWNER OF PARCEL 14-114-23 IS: GOLD MEDALIST, LLC.
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 25027C1032E, MAP REVISED MONTH JULY 4, 2011.
5. THE BOUNDARY LINE AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF AN ON-THE-GROUND ALTA SURVEY AS PERFORMED BY ALPHA SURVEY GROUP, LLC.
6. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE MASSDOT HIGHWAY DIVISION CONSTRUCTION STANDARD DETAILS, TOWN OF MENDON STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS.
7. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
8. STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
9. THIS PLAN SET REFERENCES MASSDOT HIGHWAY DIVISION STANDARD DETAILS (DESIGNATED AS MASSDOT STD XXX.X.X). MASSDOT STANDARD DETAILS ARE AVAILABLE FROM MASSDOT AND ONLINE AT HTTPS://WWW.MASS.GOV/LISTS/CONSTRUCTION-DETAILS
10. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PRIVATE OWTS.
11. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF MENDON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS.
12. THE SITE IS PROPOSED TO BE BUILT IN ONE (1) PHASE.
13. SOIL & DEEP TEST HOLE EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 3/15/2022 & 4/28/2022.
14. WETLAND EDGE WAS FIELD DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS INC. ON SEPTEMBER 2021, AND LOCATED BY ASSG ON 10/07/2021.
15. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSES THEY PROPOSE TO SERVE.
16. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/PURPOSES ONLY.
17. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
18. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
19. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
20. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON MASSDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

SOIL INFORMATION:

(REFERENCE: USDA NATURAL RESOURCES CONSERVATION SERVICE)
SOIL NAME DESCRIPTION

- 51A SWANSEA MUCK, 0 TO 1 PERCENT SLOPES
25B MERRIMAC FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
302C MONTAUK FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, EXTREMELY STONY
315B SCITUATE GRAVELLY SANDY LOAM, 3 TO 8 PERCENT SLOPES
420B CANTON VERY FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
615 UDFLUVENTS, FREQUENTLY FLOODED

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE, MONOLITHIC CONCRETE, CAST IN-PLACE, AND CENTER LINE, BITUMINOUS CURB, BITUMINOUS BERM OR GRANITE OR AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE, EXPOSED AGGREGATE CONCRETE, STAMPED CONCRETE OR BITUMINOUS OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
8. ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGNER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION. GUARDRAIL IS REQUIRED AT ALL ROADWAYS/PARKING LOTS/PAVED TRAFFIC AREAS ADJACENT TO SLOPES WITH A HEIGHT GREATER THAN SIX FEET AT A 3:1 SLOPE, AND ALL SLOPES WITH A HEIGHT GREATER THAN THREE FEET AT A 2:1 SLOPE, AND ALL RETAINING WALLS GREATER THAN TWO FEET IN HEIGHT. THE CONTRACTOR IS RESPONSIBLE TO MEET ANY AND ALL GUARDRAIL PROVISIONS THAT MAY BE REQUIRED BY THE AASHTO.
9. INFLARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, ANY DISTURBED PAVEMENT ON ROADWAYS AND WHERE ANY NEW PAVEMENT EXISTS HAVING PAVEMENT.
10. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
11. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND THE CONSERVATION COMMISSION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, TEMPORARY SEDIMENTATION PONS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS (MESCG) AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE MESCG, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE MESCG BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SWPPP WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION PHASES. PURSUANT TO NOT 1 ABOVE, SWPPP REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SWPPP RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK. TEMPORARY SWALES MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALES, TO BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS/SEDIMENT BASINS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT BASINS/TRAPS MUST BE CLEARED AND REMOVED.
5. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING, SEE SWPPP PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
8. TEMPORARY SEDIMENT BASINS MUST BE DETERMINED USING A DEVICE THAT DISCHARGES WATER FROM THE TOP OF THE DEWATERING ZONE. A SKIMMER MUST BE PROVIDED FOR EACH TEMPORARY SEDIMENTATION BASIN SEE SEDIMENT BASIN DETAIL.
9. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- 1. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (RSD) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. RSD MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MATERIALS ON GRATES/Frames/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS, INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK, MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
7. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
8. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
9. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON MASSDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. A MINIMUM OF SEVEN (7) HOURS (72 HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

MASSDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES LATEST REVISION. STANDARD DETAILS FOR THIS WORK ARE THE MASSDOT HIGHWAY DIVISION CONSTRUCTION STANDARD DETAILS LATEST EDITION.
2. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, INCLUDING ALL REVISIONS.
3. LANE OR SHOULDER CLOSURES MUST NOT BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
4. SEWER AND WATER CONNECTIONS WITHIN THE STATE RIGHT OF WAY WILL REQUIRE A SEPARATE MASSDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
5. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES' (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT THAN OVERLIE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE THAT THE CONSTRUCTED PROJECT MEETS ALL ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

GRADING AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE WINTER 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERCHANGE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A MASSACHUSETTS LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FINAL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE OPEN OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. NO DISCUMPS ARE PROPOSED ON SITE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOLLARDS, AND OTHER REFUSE, MUST BE STAGED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 3' BITUMINOUS BERM AND/OR 6' CONCRETE/GRAVITE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM/CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN NOTED DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
13. CONTRACTOR MUST PROVIDE SUMP CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
14. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
15. ALL RESIDENTIAL BUILDING SLABS (BASEMENT AND/OR SLAB ON GRADE), REGARDLESS OF FINISH FLOOR ELEVATIONS SHOWN ON PLANS, MUST HAVE A MINIMUM OF 12" OF SEPARATION TO THE SEASONAL HIGH GROUNDWATER TABLE.
16. DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY MUST BE REINFORCED CONCRETE PIPE (RCP).
17. DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
18. CATCH BASINS (CB): MASSDOT STD. 201.2.0 OR APPROVED EQUAL.
19. FLAT TOP CATCH BASINS (CB FLAT TOP): SCITUATE COMPANIES 4' DIA CATCH BASIN SRP-CB4 (ALTERNATE FLAT TOP AASHTO HS-20), 4' DIA LOW PROFILE FLAT TOP SRP-DF14, OR APPROVED EQUAL. SEE PLANS FOR ALTERNATE STRUCTURE DIAMETERS WHERE REQUIRED.
20. FLAT TAPERED CATCH BASINS (CB FLAT TAPER): SCITUATE COMPANIES 4' DIA DOUBLE CATCH BASIN DWS SRP-CB4, OR APPROVED EQUAL. SEE PLANS FOR ALTERNATE STRUCTURE DIAMETERS WHERE REQUIRED.
21. CATCH BASIN FRAMES: MASSDOT STD. 201.6.0 OR APPROVED EQUAL.
22. GUTTER INLETS (GI): MASSDOT STD. 201.2.0 OR APPROVED EQUAL.
23. DRAINAGE MANHOLES (DMH): MASSDOT STD. 202.4.0 OR APPROVED EQUAL.
24. DRAINAGE MANHOLE FRAMES AND COVERS: MASSDOT STD. 202.6.0 OR APPROVED EQUAL.
25. NYLOPLAST DRAIN BASIN (DB) WITH CAP STYLE REDUCER 12"x12" SQUARE GRATE OR APPROVED EQUAL.
26. DOWNSTREAM DEFENDERS (DD) BY HYDRO INTERNATIONAL OR APPROVED EQUAL.
27. HTTPS://WWW.HYDRO-INT.COM/EN/RESOURCES/DOWNSTREAM-DEFENDER-PDF-OR-DWG-DRAWINGS
28. ALL CATCH BASINS WITHIN PARKING LOT MUST CONTAIN HOODS, AND INCLUDE 4' SUMP.
29. ALL MANHOLES MUST SUPPORT AASHTO H20-44 LOADING.
30. DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES TO THE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.
31. FINAL DESIGN OF PROPOSED UNDERSLAB AND PARKING AREA GROUNDWATER MANAGEMENT BY OTHERS (GZA) IS UNDER DESIGN AND WILL BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT.
32. SANITARY SEWER: ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE TOWN OF MENDON WATER & SEWER AUTHORITY, MWRA AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL PIPES FROM BUILDING TO GREASE TRAP/INTERCEPTOR AND FROM GREASE TRAP/INTERCEPTOR TO THE NEXT STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284CMR.
33. WATER: ALL WATER LINES MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE TOWN OF MENDON WATER & SEWER AUTHORITY AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS.
34. IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE CLEAR WIDTH OF THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.
35. ELECTRIC/TELECOM: PROPOSED ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS, AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN UNDERGROUND BY OTHER UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL GRID/APPROPRIATE UTILITY AUTHORITY PRIOR TO CONSTRUCTION.
36. SITE LIGHTING: SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ADJUTING LANDS. EXACT LOCATIONS OF LIGHT POLE MUST BE COORDINATED WITH OTHER UTILITIES AND MUST BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.
37. REDEVELOPMENT NOTES:
38. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
39. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
40. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION, INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
41. WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE AT THE PROPERTY LINE. WHEN REMOVING AND DISPOSING OF EXISTING PIPE, THE CONTRACTOR MUST CAP OR PLUG BOTH ENDS REMAINING IN PLACE.
42. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER.
43. NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INTENDED FOR REUSE. CONTRACTOR MUST EVALUATE APPROXIMATE UTILITIES SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER/DIPRETE ENGINEERING.

ABBREVIATIONS LEGEND

Table with 2 columns: Abbreviation and Description. Includes ADA (Americans with Disability Act), AHJ (Authority Having Jurisdiction), AP (Assessor's Plat), ARCH (Architect), BC (Bottom of Curb), BT (Bottom of Testhole), BTO (Bituminous (Berm)), BIO (Biorientation), BS (Basement Slab Elevation), BW (Finished Grade at Bottom of Wall), CB (Catch Basin), (C) (Calculated), S (Slope), SD (Subdrain), SED (Sediment Forebay), SF (Square Foot), SFL (State Freeway Line), SPM (Sewer Force Main), (D) (Deed), DCD (Double Catch Basin), DI (Drop Inlet), DMH (Drainage Manhole), DP (Detention Pond), ELEV (Elevation), EOP (Edge of Pavement), ESP (Erosion and Sediment Control), EX (Existing), FES (Flared End Section), FFE (Finish Floor Elevation), GS (Garage Slab Elevation), GWT (Ground Water Table), HW (Headwall), HC (High Capacity Catch Basin Grate), HOPE (High Density Polyethylene), ID (In-line Drain), INV (Invert), IP (Infiltration Pond), LARCH (Landscape Architect), LF (Linear Feet), LOD (Limit of Disturbance), LP (Light Pole), (M) (Measured), HEP (Mechanical/Electrical/Plumbing Engineer), N/F (Now or Formerly), OHW (Overhead Wire), PE (Polyethylene), P (Property Line), PR (Proposed), PVC (Polyvinyl Chloride), R (Radius), R&D (Remove and Dispose), RCP (Reinforced Concrete Pipe), RL (Ramp Leader), ROW (Right-of-Way), S (Slope), SD (Subdrain), SED (Sediment Forebay), SF (Square Foot), SFL (State Freeway Line), SPM (Sewer Force Main), SG (Slab on Grade Elevation), SHL (State Highway Line), SHM (Sewer Manhole), SMDF (Sump Filter), SS (Side Slope), STA (Station), TC (Top of Curb), TD (Trench Drain), TF (Top of Foundation), TRANS (Transition), TW (Top of Wall (Finished)), G (Grade at Top of Wall), TYP (Typical), UDS (Underground), US (Underground), UP (Utility Pole), WO (Walkout Elevation), WQ (Water Quality)

EXISTING LEGEND

(AS SHOWN ON PROPOSED PLANS)
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol and Description. Includes NAIL FOUND/SET, DRILL HOLE FOUND/SET, IRON ROD FOUND/SET, BOUND FOUND/SET, SIGN, SOIL EVALUATION, BOLLARD, CB (Catch Basin), DCB (Double Catch Basin), DMH (Drainage Manhole), FES (Flared End Section), GUY POLE, EMH (Electric Manhole), UP (Utility/Power Pole), LIGHTPOST, SMH (Sewer/Septic Manhole), SEWER VALVE, CLEANOUT, HYDRANT, IRRIGATION VALVE, WATER VALVE, WELL, MONITORING WELL, UNKNOWN MANHOLE, GAS VALVE, BENCH MARK, STREAM FLOW DIRECTION, PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREE LINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 25' WETLAND BUFFER, 100' BUFFER ZONE, 200' RIVERFRONT AREA, FEMA BOUNDARY, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE, GROUNDWATER OVERLAY, GROUNDWATER RECHARGE AREA, GROUNDWATER RESERVOIR, NATURAL HERITAGE, COMMUNITY WELLHEAD PROTECTION, NON-COMMUNITY WELLHEAD PROTECTION

PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

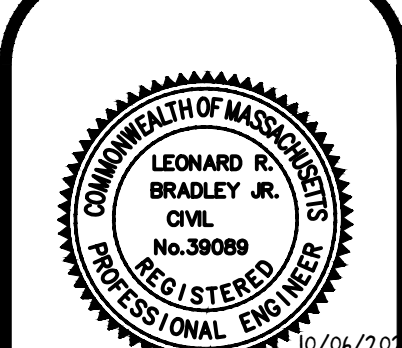
Table with 2 columns: Symbol and Description. Includes PROPERTY LINE, BUILDING SETBACKS, CHAIN-LINK FENCE, GUARDRAIL SEE LAYOUT AND MATERIALS NOTE B, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB, MONOLITHIC CONCRETE CURB AND SIDEWALK, BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE, COMPOST SOCK OR APPROVED EQUAL, SLOPES STEEPER THAN 3:1 (2:1 SLOPE STEEPER), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIRAP, SAND FILTER, BIO RETENTION, CATCH BASIN, DOUBLE CATCH BASIN, DRAIN MANHOLE, FLARED END SECTION, HEADWALL, SEWER MANHOLE, PARKING COUNT

NOTE: THIS PLAN MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

DiPrete Engineering logo and contact information: 105 Eastern Avenue Suite 200 Dedham, MA 02026, tel: 781-326-0021, fax: 617-461-6006, www.diprete-eng.com



Handwritten signature of James Bradley

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER OF RECORD AND STAMPED BY A PROFESSIONAL ENGINEER OF RECORD. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF RECORD. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE WORK SHOWN ON THESE PLANS. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

Table with 2 columns: B.A.W. and B.T. with fields for PROJECT NO., DATE, SITE PLAN APPLICATION NO., and DESIGN BY.

NOTES & LEGEND, 23 CAPE ROAD REDEVELOPMENT, MENDON, MASSACHUSETTS, PREPARED FOR BLUEWATER INDUSTRIAL PARTNERS, 100 FRONT STREET, SUITE 570 WEST CONSHOHOCKEN, PENNSYLVANIA 19382, SHEET 3 OF 25



U:\ASSTORAGE\PROJECTS\2024\23 CAPE ROAD 23\AUTOCAD DRAWINGS\2024-05\PLAN DWG\PL01.DWG PLOTTED: 10/06/2022

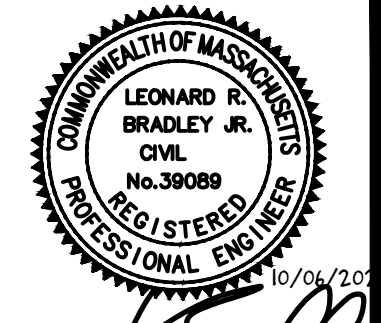


**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	REQUIRED	PROVIDED	COMPLIES
MINIMUM LOT SIZE:	40,000 SF	927,670 SF	YES
MINIMUM LOT FRONTAGE:	200'	790'	YES
MINIMUM FRONT YARD:	50'	214'	YES
MINIMUM SIDE YARD:	20'	70'	YES
MINIMUM REAR YARD:	20'	331'	YES
MINIMUM LOT DEPTH:	200'	965'	YES
MINIMUM LOT WIDTH:	200'	655'	YES
MAXIMUM BUILDING COVERAGE:	30%	22%	YES
MAXIMUM STRUCTURE HEIGHT:	35'	35'	YES
MINIMUM LANDSCAPE BUFFER (ALL SIDES):	15'	15'	YES

**PARKING REGULATIONS:**

PARKING USE:	WAREHOUSE
PARKING REQUIREMENT:	1 SPACE PER 1,000 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	205,445 SF
REQUIRED PARKING CALCULATIONS:	205,445 X 1/1000 = 206 SPACES
TOTAL PARKING SPACES REQUIRED:	206 SPACES
TOTAL PARKING SPACES PROVIDED:	206 SPACES
TRUCK LOADING SPACES PROVIDED:	31 SPACES
TRAILER STORAGE SPACES PROVIDED:	20 SPACES
ADA PARKING REQUIRED:	7 SPACES (MIN. 2 VAN ACCESSIBLE)
ADA PARKING PROVIDED:	8 SPACES (4 VAN ACCESSIBLE)



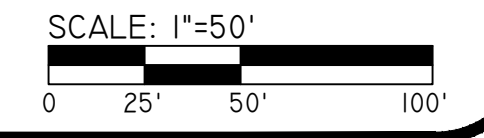
*Leonard Bradley*

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS SHARPLY NOTED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED. CONSULT THE PLAN USE APPROPRIATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

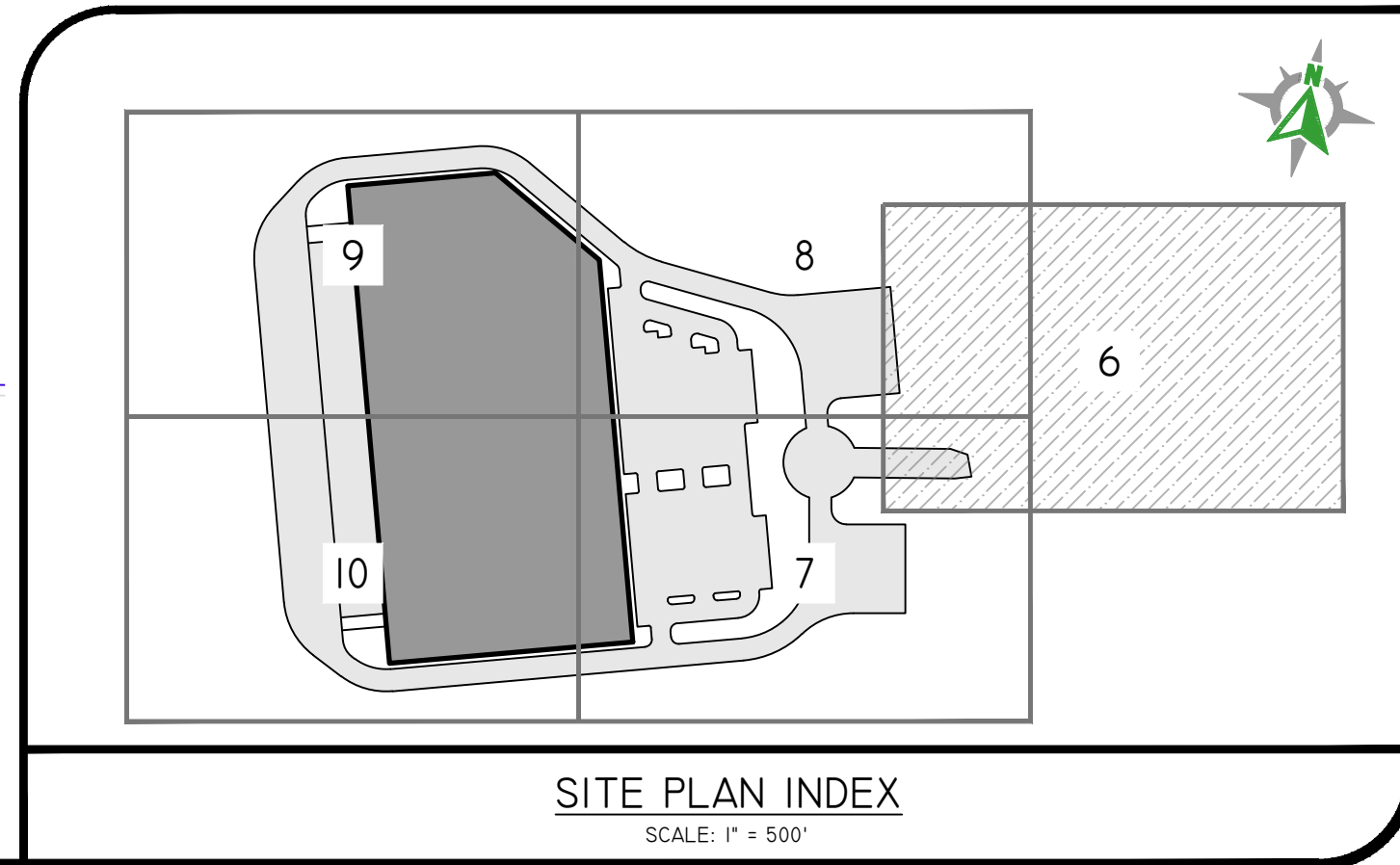
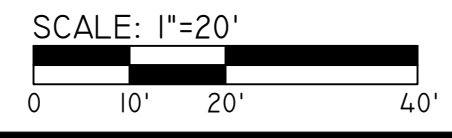
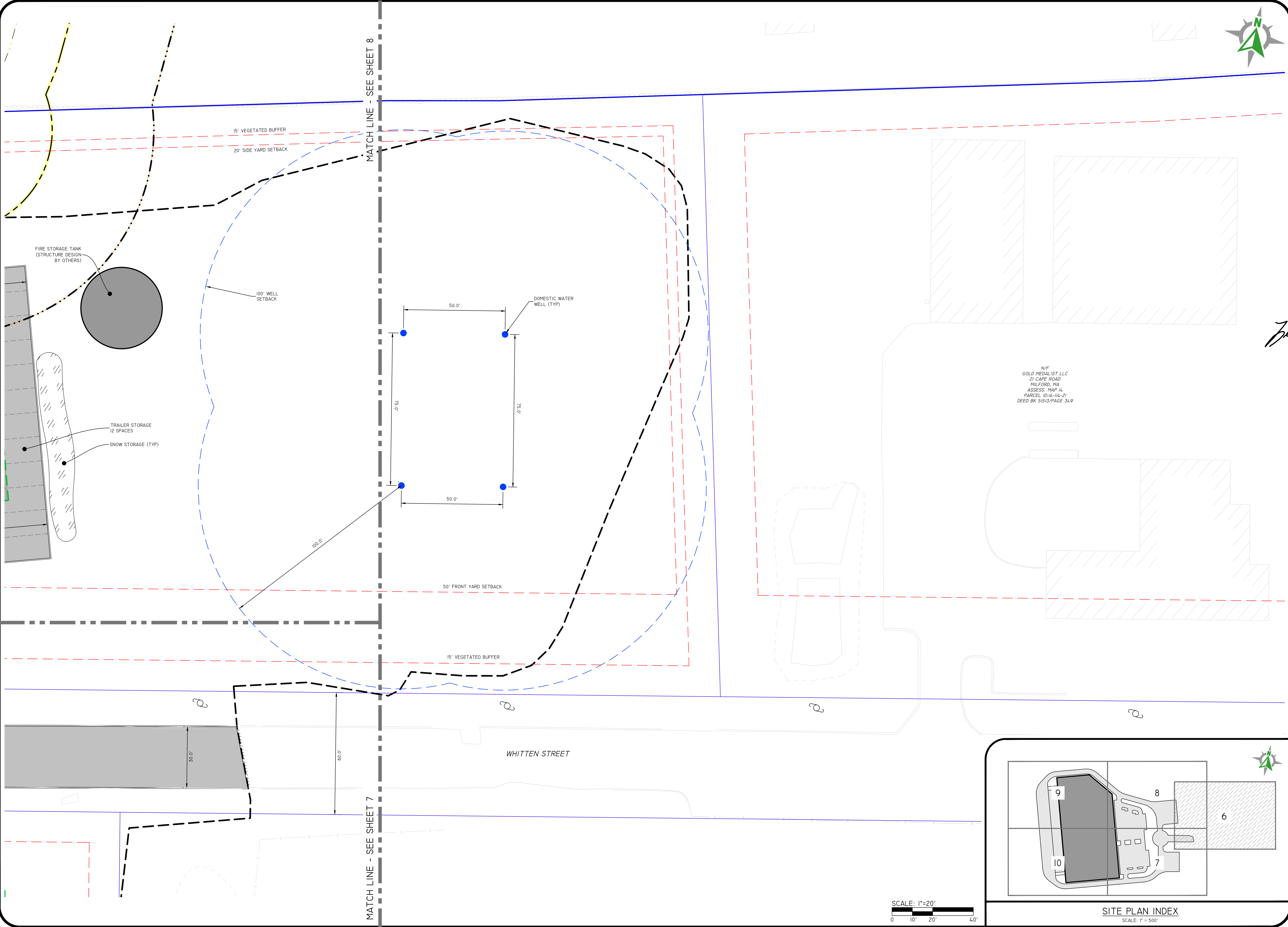
NO.	DATE	DESCRIPTION	B.A.W.	B.T.
1	10-05-2022	SITE PLAN APPLICATION		
2				

DESIGN BY: R.J.D.  
DRAWN BY: B.A.W.

**OVERALL SITE LAYOUT PLAN**  
**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS  
 PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19428

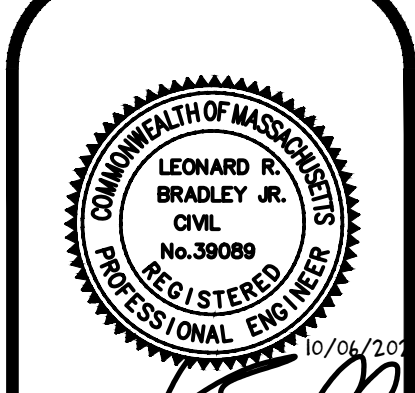


\\NASSTORAGE\ENR\MAIN\PROJECTS\195L-002 CAPE ROAD 23\AUTOCAD DRAWINGS\195L-002\PLAN DWG PLOTTED: 10/6/2022



**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*Leonard Bradley*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHOWN ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED THEREON. THIS PLAN IS APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
10-05-2022		SITE PLAN APPLICATION	B.A.W.
10-05-2022		DESIGN	B.A.W.

DESIGN BY: B.A.W.

**SITE PLAN - 1**

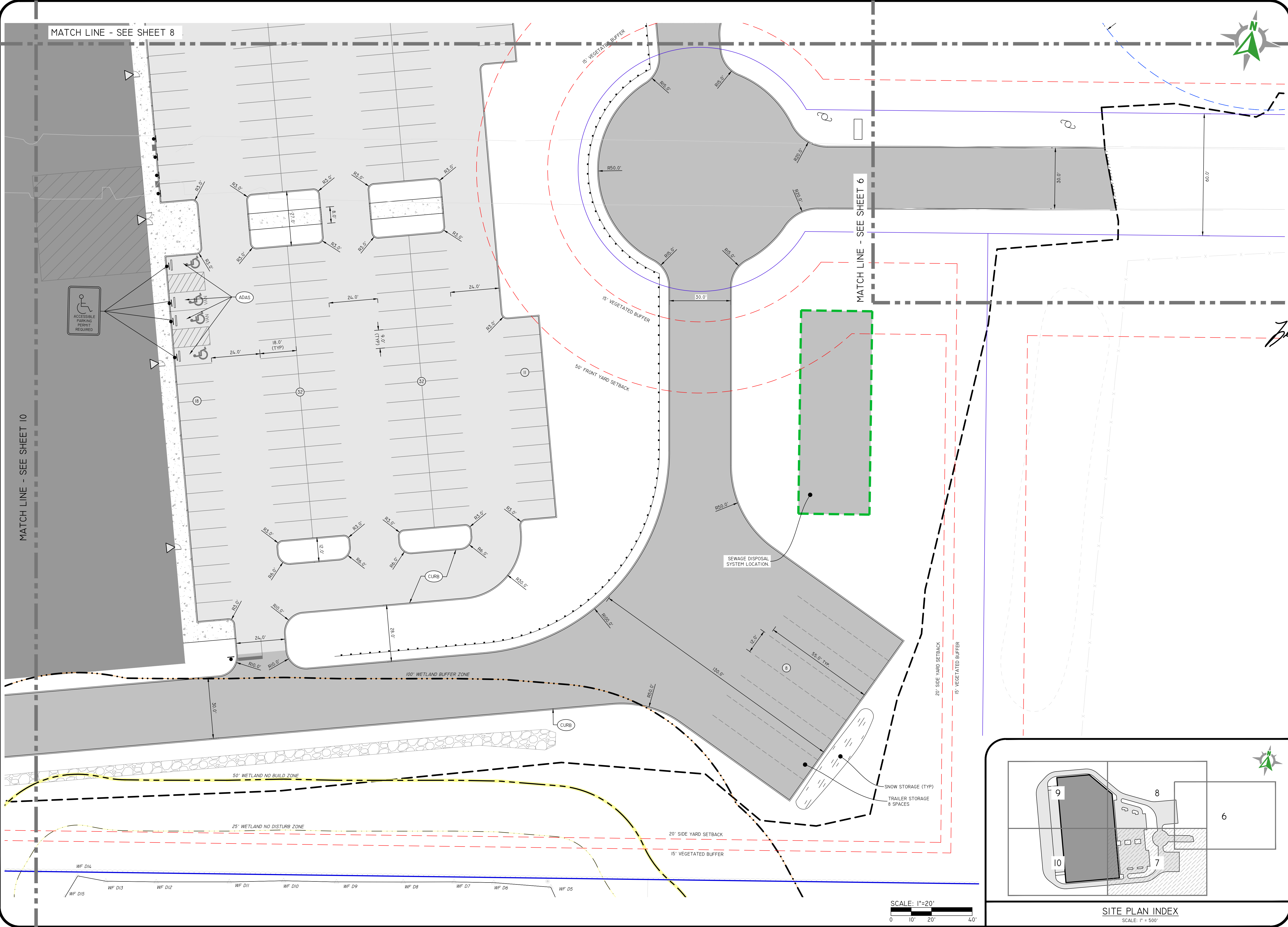
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 10-14-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19380

DE JOB NO. 195L-002 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **6** OF 25

\\NAS01\storage\p\main\projects\0954-002 CAPE ROAD 23\AUTOCAD DRAWINGS\0954-002-PLAN.DWG PLOTTED: 10/6/2022



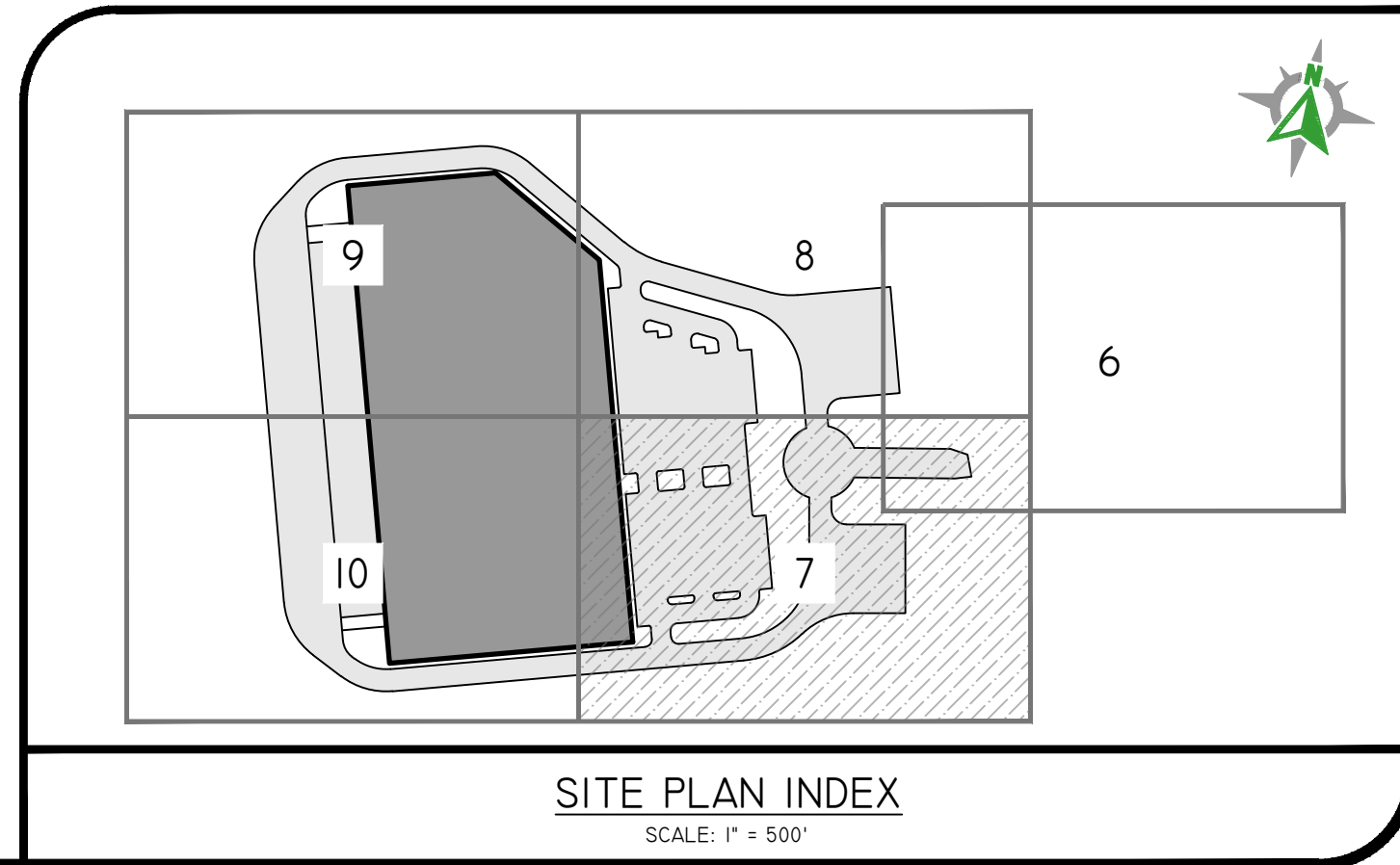
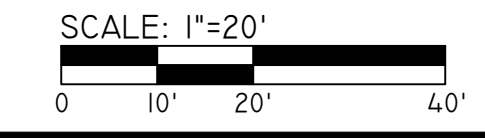
MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 10

MATCH LINE - SEE SHEET 6



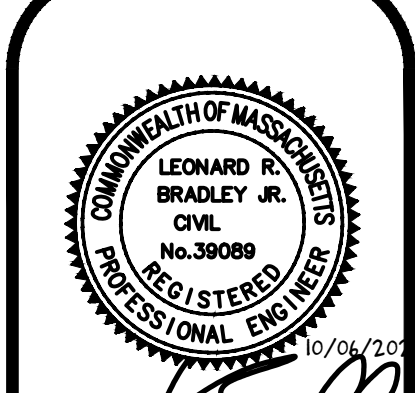
ACCESSIBLE PARKING FRONT REQUIRED



SITE PLAN INDEX  
SCALE: 1" = 500'

**DiPrete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*James Bradley*  
 10/06/2022

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING DESIGN. DIPRETE ENGINEERING, DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS AND CONDITIONS OF THE PROJECT. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10-06-2022	SITE PLAN APPLICATION	B.A.W.
10/06/2022	DESCRIPTION	B.T.
DRAWN BY: B.A.W.		DESIGN BY: F.J.D.

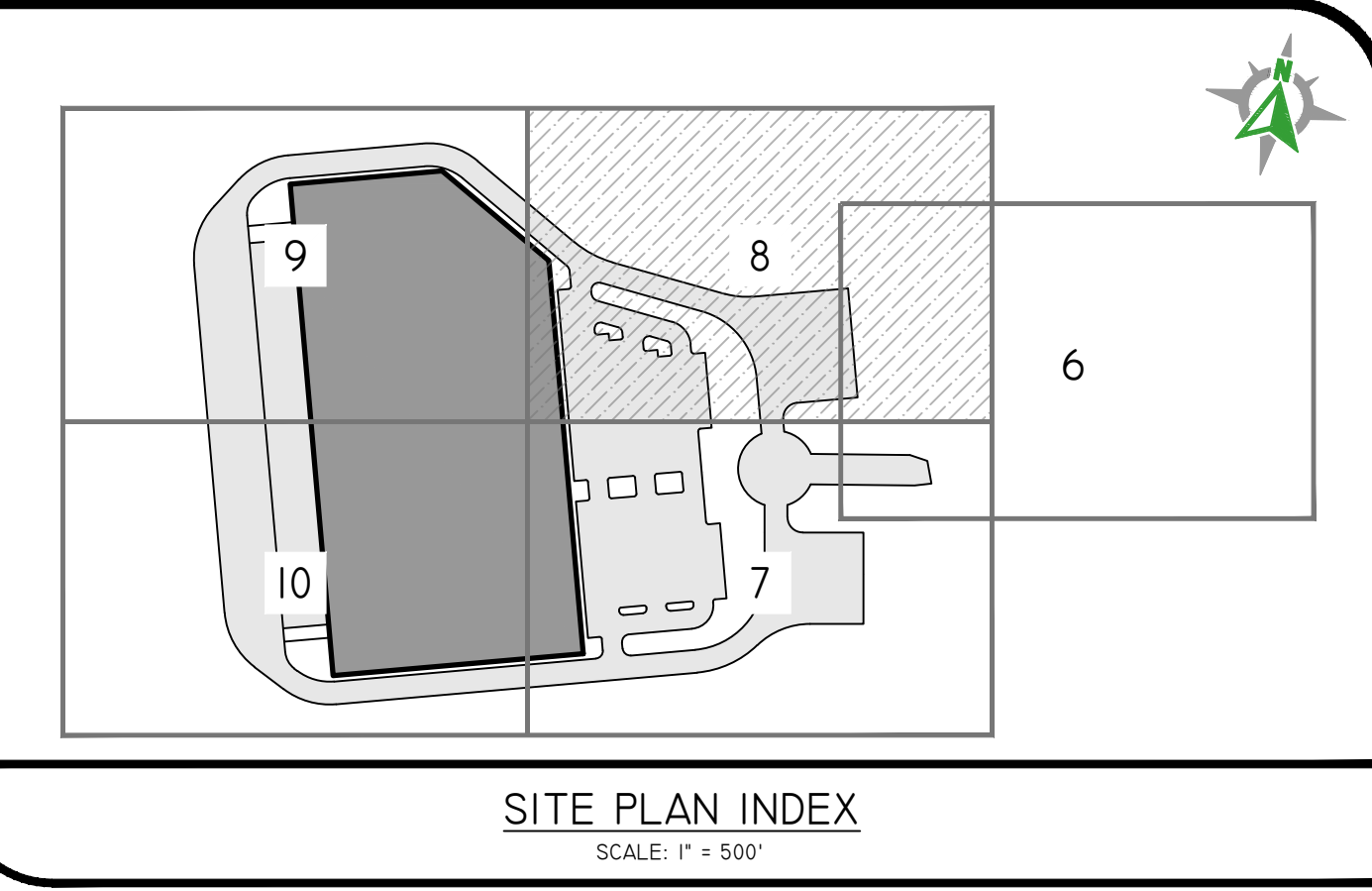
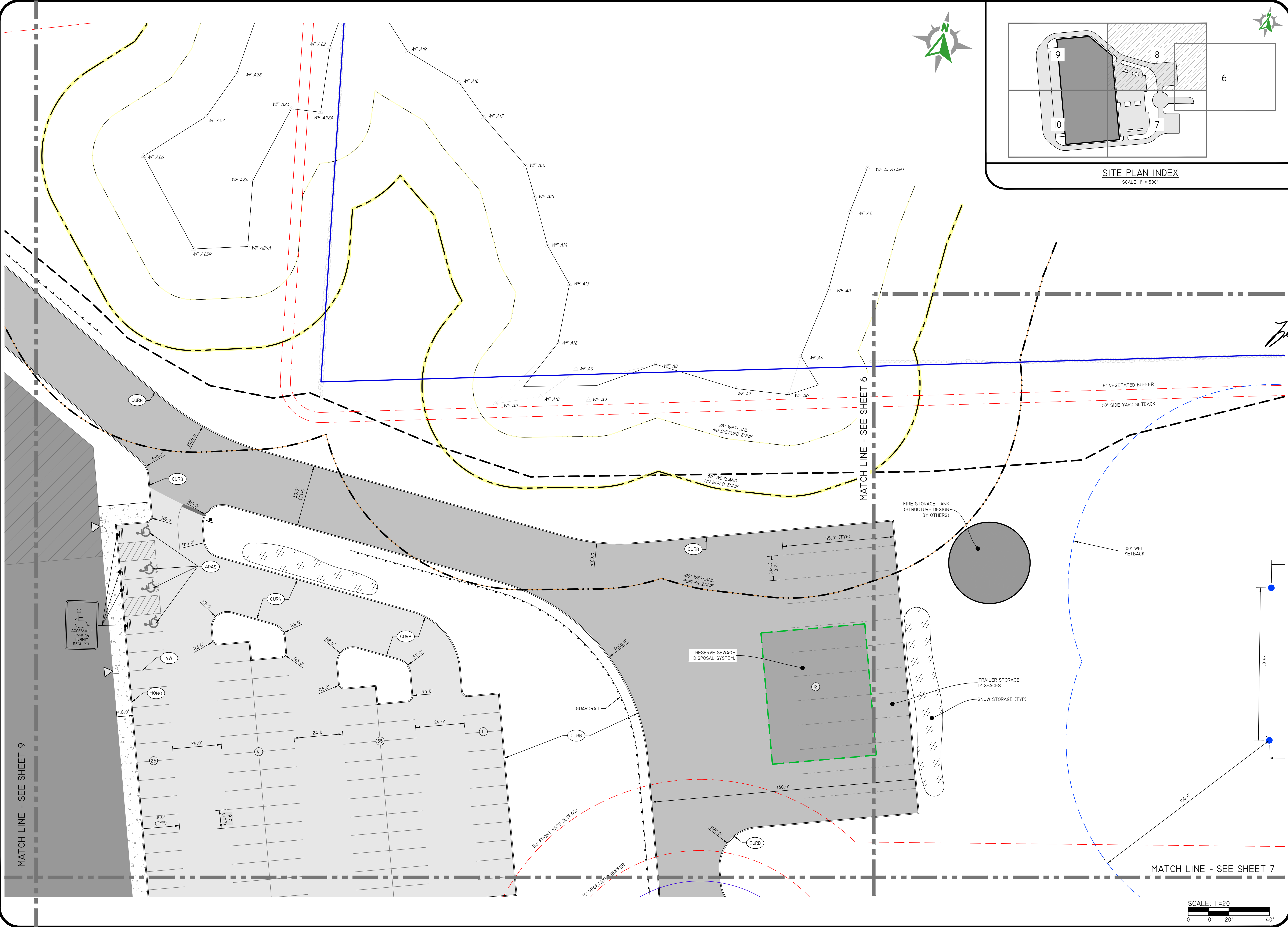
**SITE PLAN - 2**  
**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19382

DE JOB NO: 254-002 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

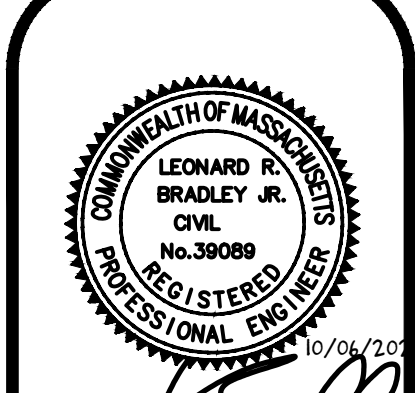
SHEET **7** OF 25

\\D:\STORAGE\PROJECTS\2024\2024-002 CAPE ROAD 23\AUTOCAD DRAWINGS\2024-002-PLAN.DWG PLOTTEE: 10/6/2022



**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*James Bradley*

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY PERMITS AND UTILITIES CHECKS ON THIS PLAN. USE APPROPRIATE DIMENSIONS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

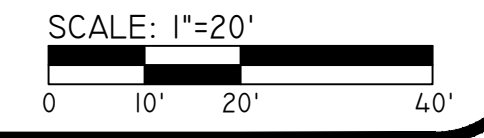
10-05-2022	10/05/2022	10/05/2022	10/05/2022
DATE	DATE	DATE	DATE
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
DESIGN BY: B.A.W.	DESIGN BY: F.J.D.	DESIGN BY: F.J.D.	DESIGN BY: F.J.D.

**SITE PLAN - 3**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19382

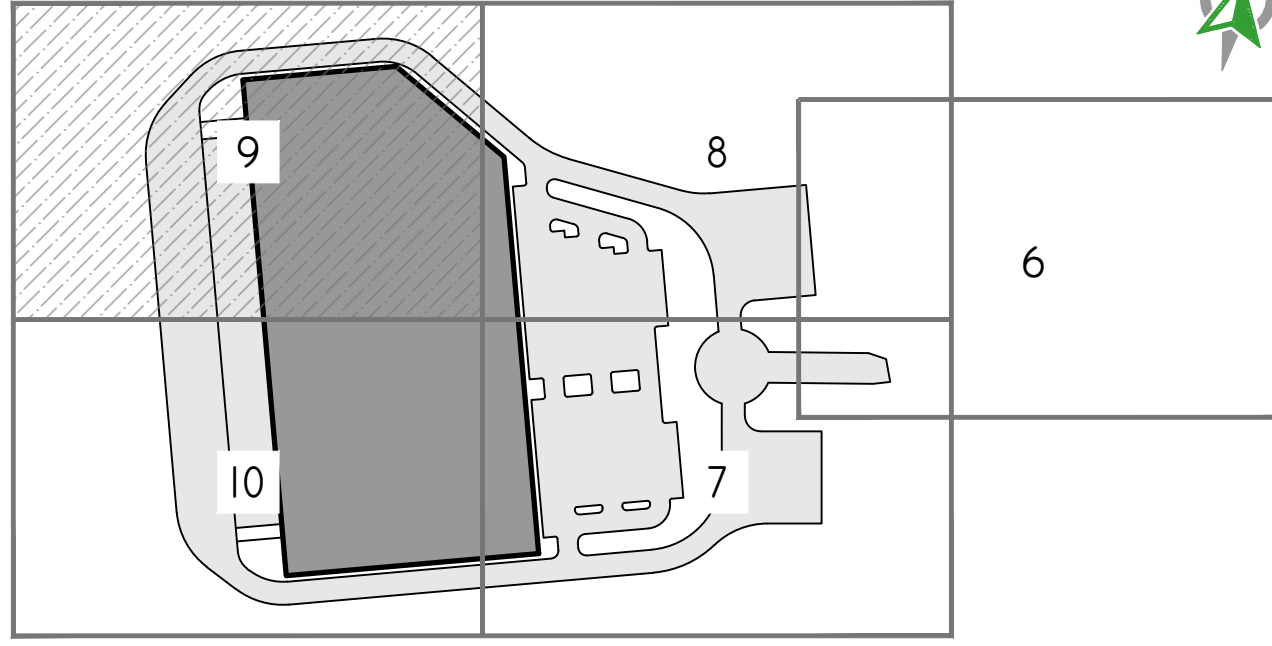
BE JOB NO. 254-2022 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **8** OF 25





U:\ASSTORAGE\PROJECTS\2022\23 CAPE ROAD 23A\AUTOCAD DRAWINGS\2022-002\PLAN.DWG PLOTTED: 10/06/2022



SITE PLAN INDEX  
SCALE: 1" = 500'



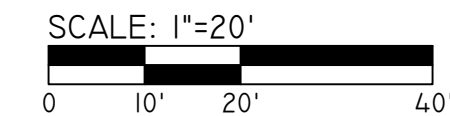
BUILDING  
205,445± SF  
LOADING 238+/-  
FFE 242+/-  
NE OFFICE 242+/-

UNDERGROUND INFILTRATION SYSTEM A (SEE SHEET 21)

GUARDRAIL  
SOUND BARRIER (DESIGN BY OTHERS)  
REDI-ROCK (OR APPROVED EQUAL) RETAINING WALL

MATCH LINE - SEE SHEET 10

MATCH LINE - SEE SHEET 8



SITE PLAN - 4

23 CAPE ROAD REDEVELOPMENT

PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
BLUEWATER INDUSTRIAL PARTNERS  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19428

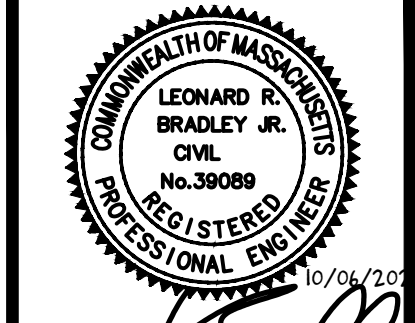
DE JOB NO. 254-002 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 9

OF 25

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHOWN ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. THIS PLAN SET IS THE PROPERTY OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY UTILITIES CONING ON THIS PLAN. AN APPROPRIATE DESIGN SHALL BE OBTAINED FROM THE UTILITIES. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10-05-2022	10-05-2022	10-05-2022	10-05-2022
DATE	DATE	DATE	DATE
DESIGN BY: B.A.W.	DESIGN BY: K.J.D.	DESIGN BY: K.J.D.	DESIGN BY: K.J.D.
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
SITE PLAN APPLICATION	SITE PLAN APPLICATION	SITE PLAN APPLICATION	SITE PLAN APPLICATION
B.A.W.	B.A.W.	B.A.W.	B.A.W.
BT	BT	BT	BT

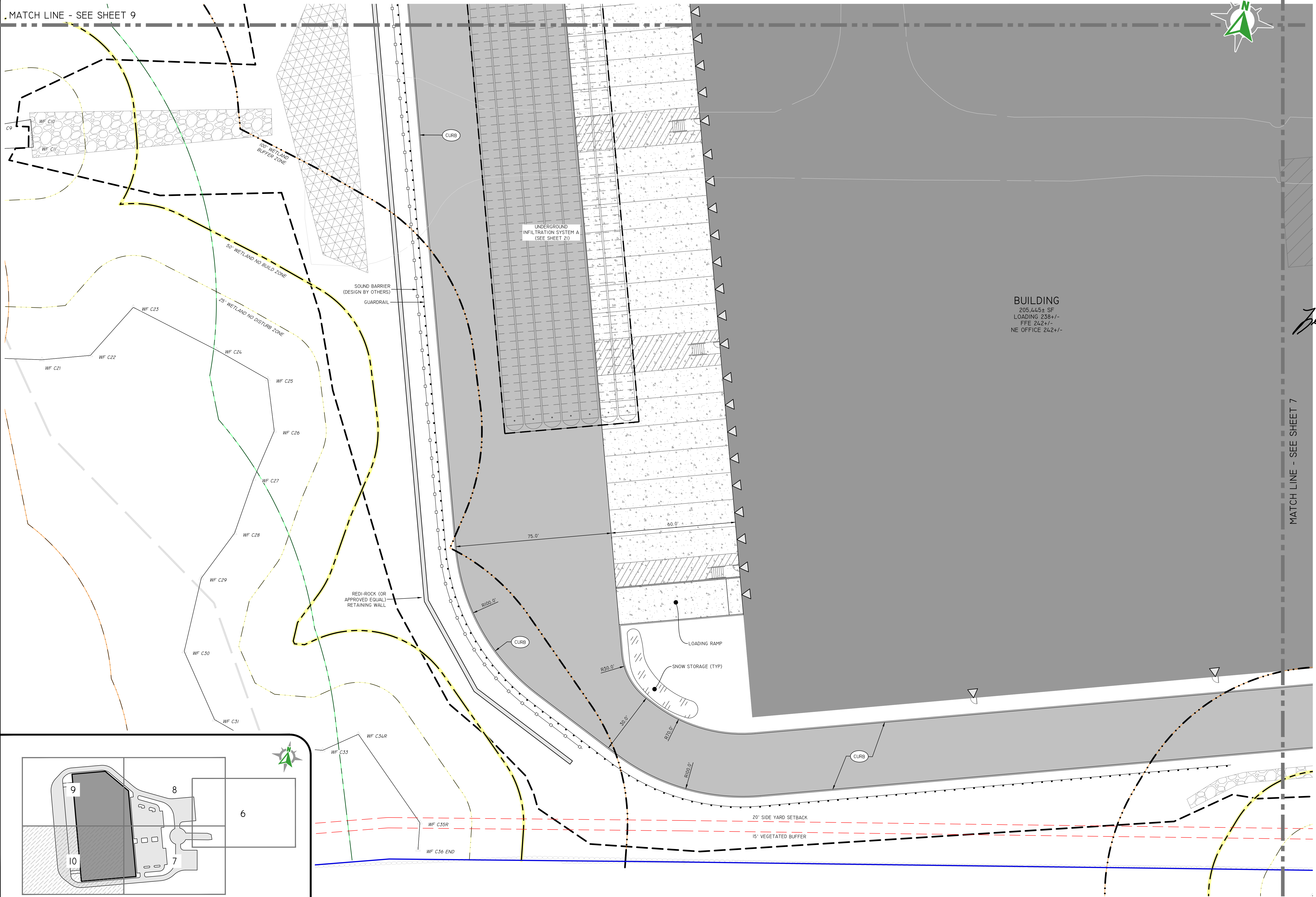
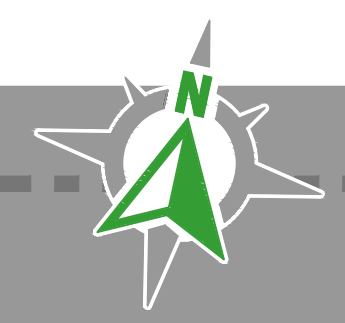


*Leonard P. Bradley*

**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

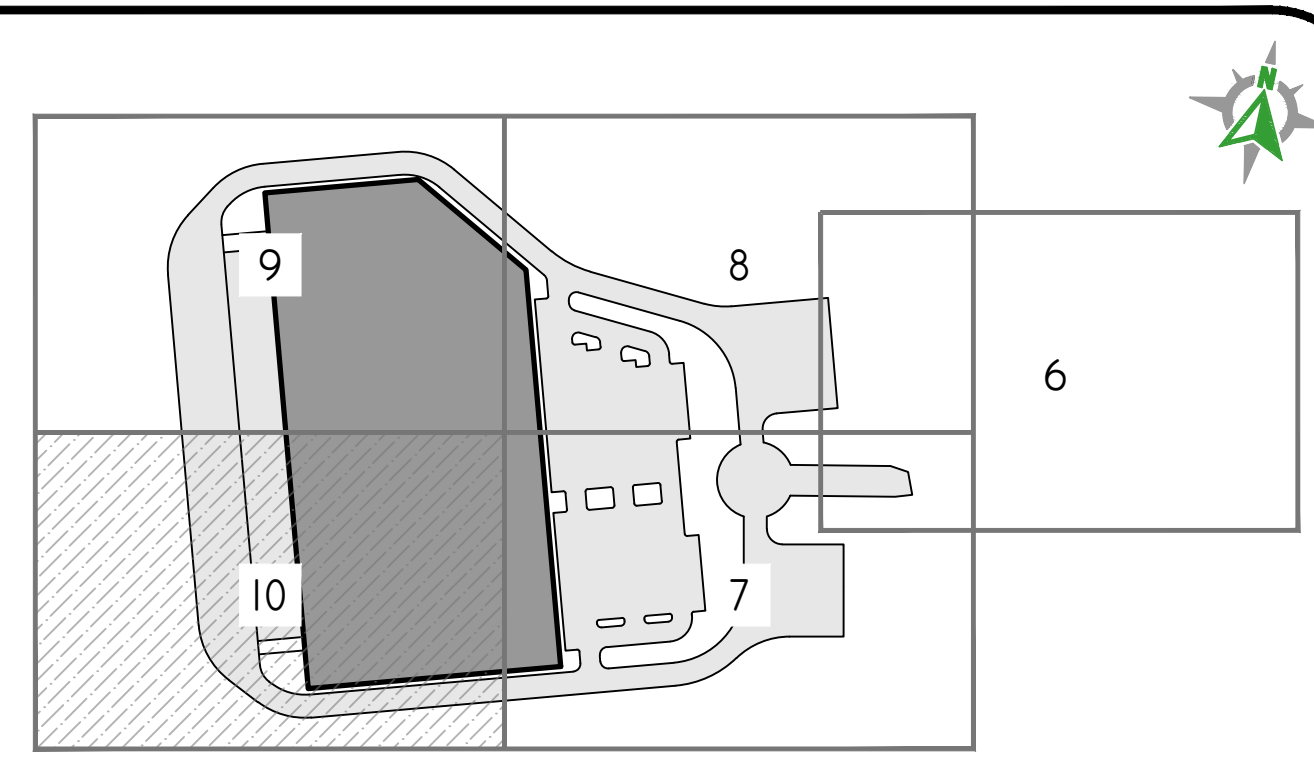
**Boston • Providence • Newport**

MATCH LINE - SEE SHEET 9

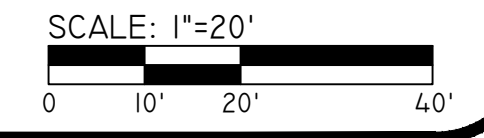


BUILDING  
205,445± SF  
LOADING 238+/-  
FFE 242+/-  
NE OFFICE 242+/-

MATCH LINE - SEE SHEET 7



SITE PLAN INDEX  
SCALE: 1" = 500'



SCALE: 1"=20'



*Leonard P. Bradley*

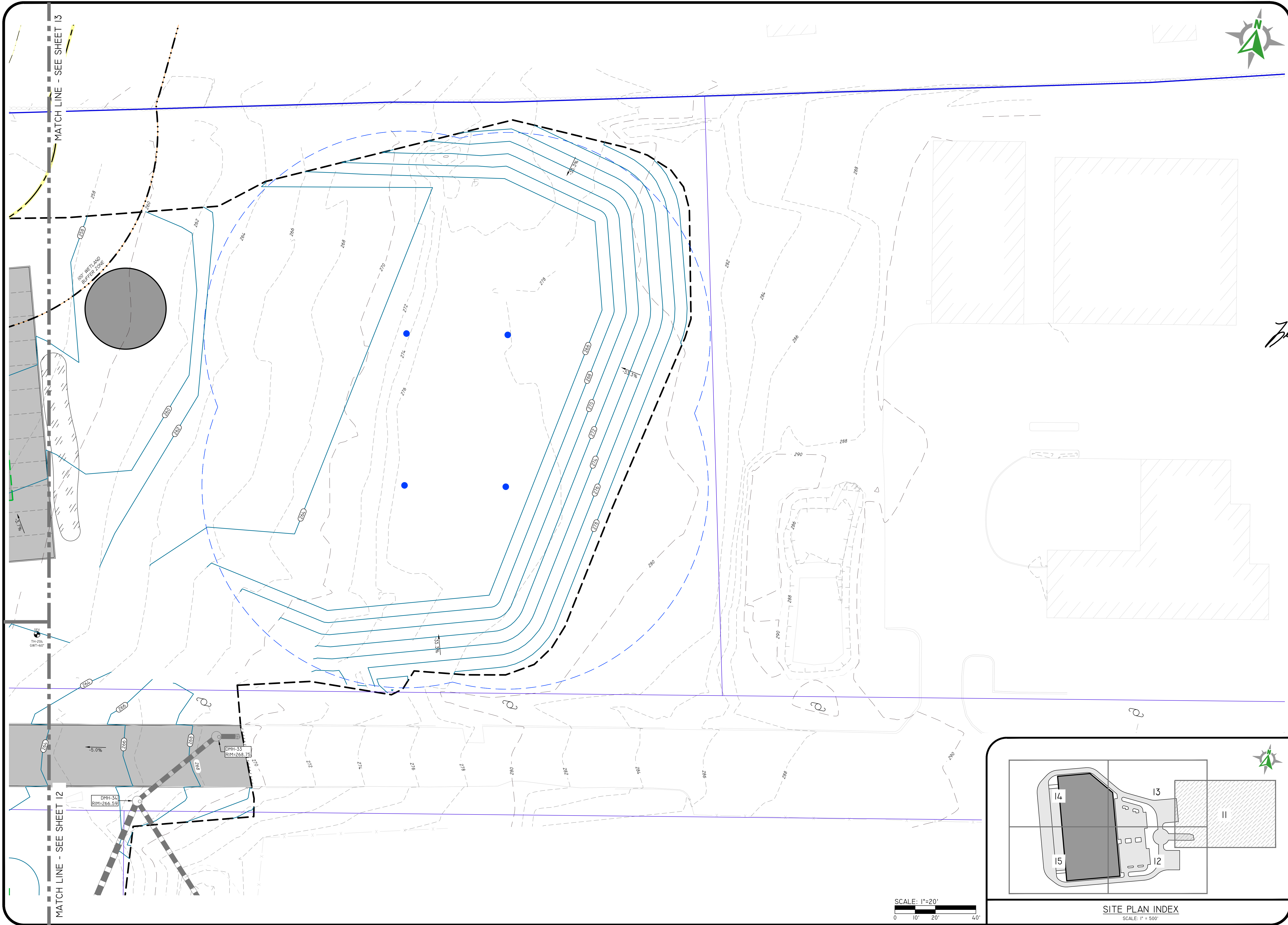
THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.  
DRAWN BY: B.A.W. DESIGN BY: F.J.D.

**SITE PLAN - 5**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS  
PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 5/10  
WEST CONSHOHOCKEN, PENNSYLVANIA 19228  
DE JOB NO. 254-082. COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com  
**Boston • Providence • Newport**

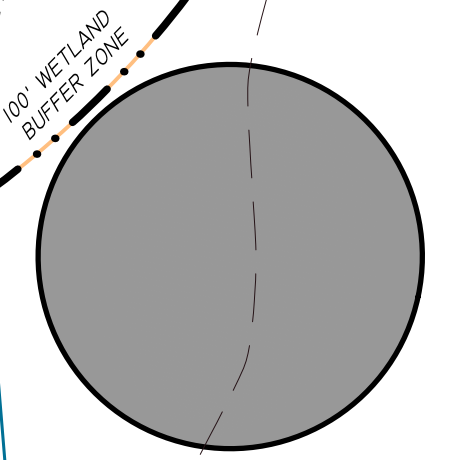
\\DAS\STORAGE\PROJECTS\2024\23 CAPE ROAD 23\AUTOCAD DRAWINGS\2024-05\PLAN DWG PLOTTED: 10/06/2022

\\NAS01STOR01\ENR\MAIN\PROJECTS\095L-002 CAPE ROAD 23\AUTOCAD DRAWINGS\095L-002\PLAN.DWG PLOTTED: 10/06/2022



MATCH LINE - SEE SHEET 13

MATCH LINE - SEE SHEET 12

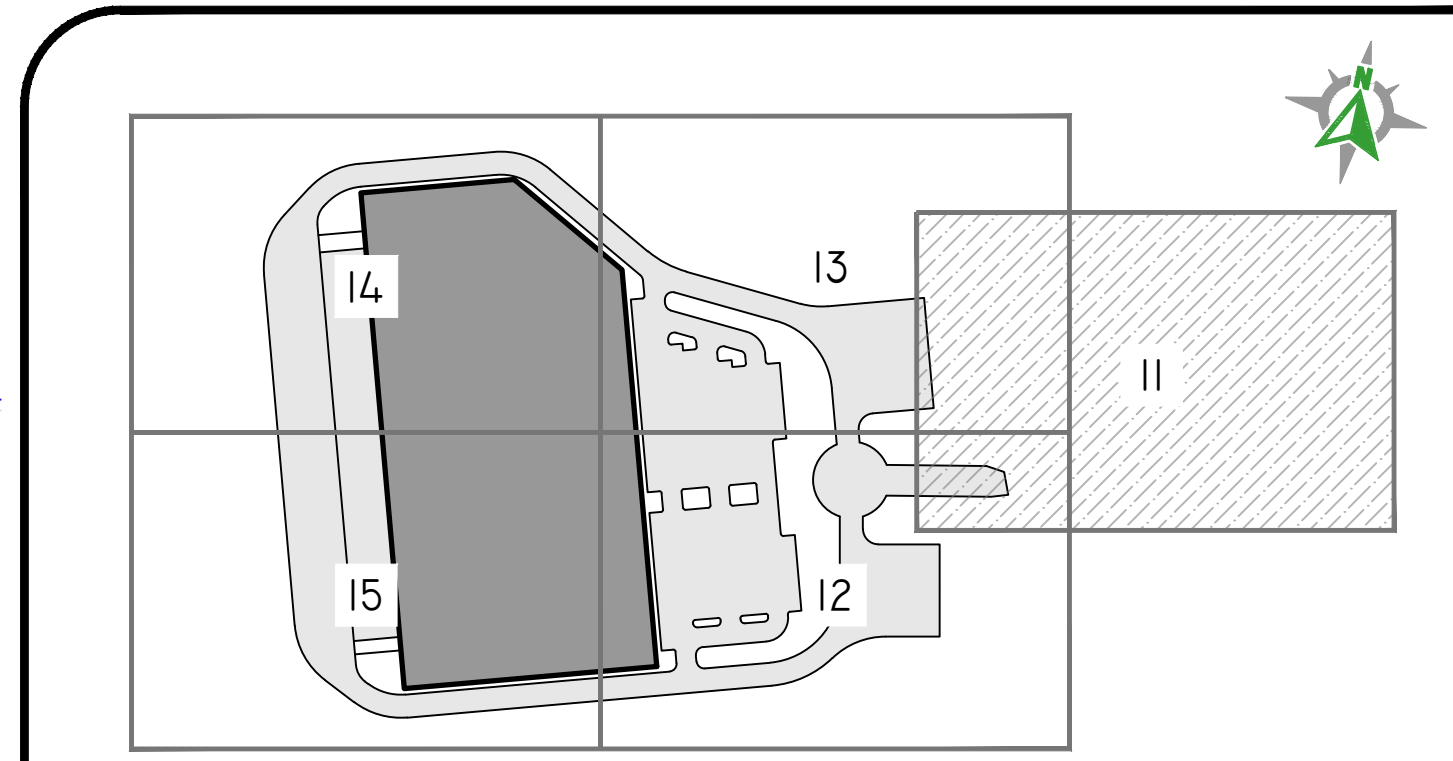
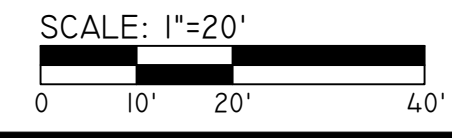


DMH-34  
RIM=266.59

DMH-33  
RIM=268.75

5.0%

33.3%



**GRADING PLAN - I**

**23 CAPE ROAD REDEVELOPMENT**

PARCEL ID: 14-14-23

MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19382

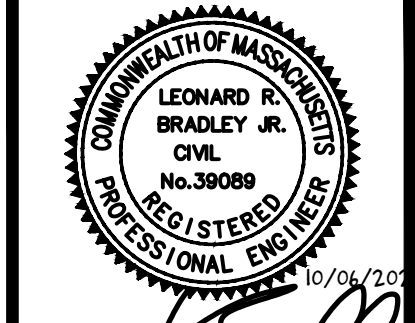
DE JOB NO. 254-2022 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 11 OF 25

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT TO THE CLIENT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT USED IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY
10-05-2022		SITE PLAN APPLICATION	B.A.W.
10-05-2022		DESCRIPTION	B.T.
			DESIGN BY: K.J.D.



*Leonard Bradley*

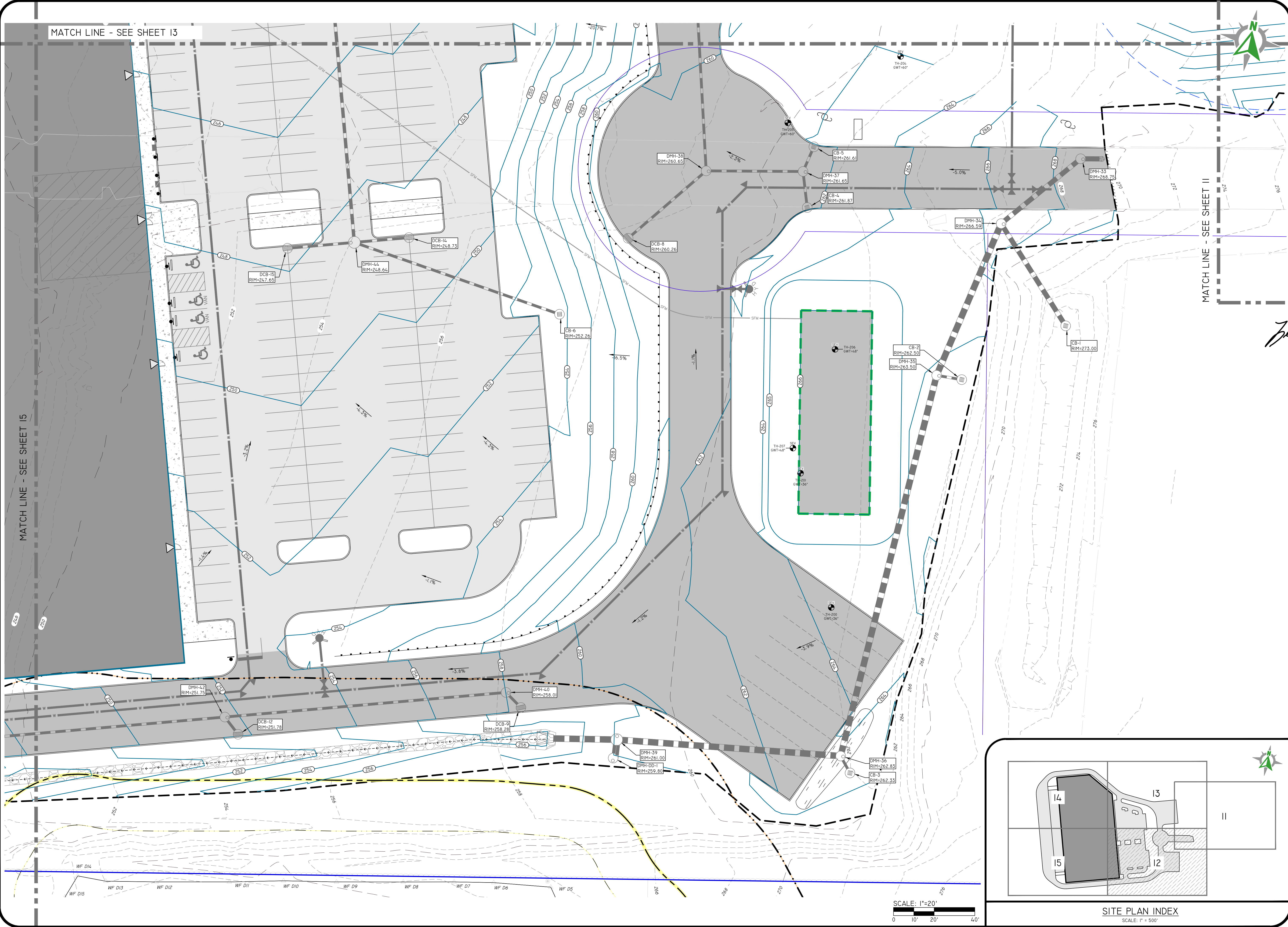
**Diprete Engineering**

105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



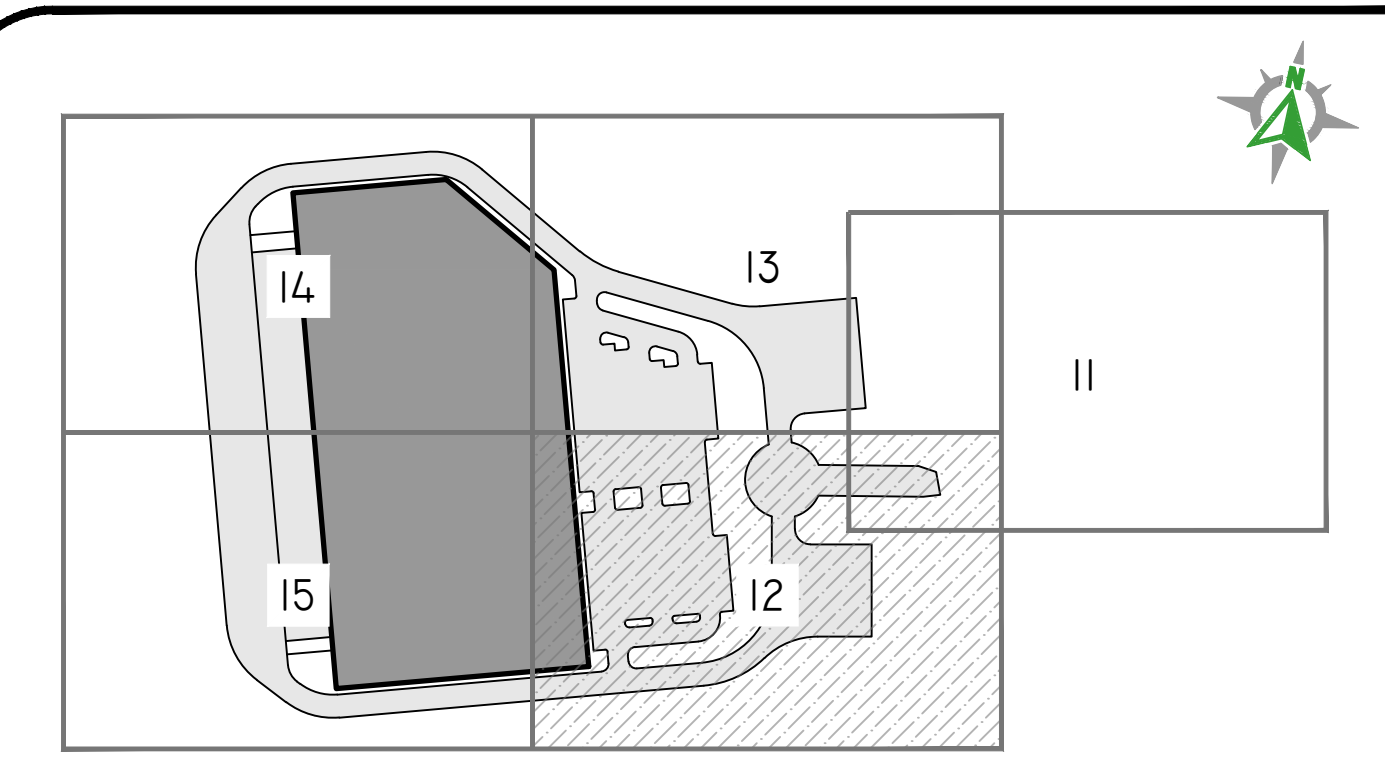
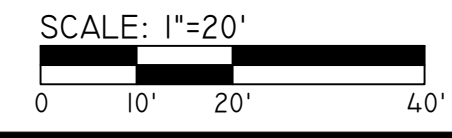
U:\CADD\PROJECTS\2025\25-002 CAPE ROAD 23\AUTOCAD DRAWINGS\25-002-PLN.DWG PLOTTED: 10/06/2025



MATCH LINE - SEE SHEET I3

MATCH LINE - SEE SHEET I5

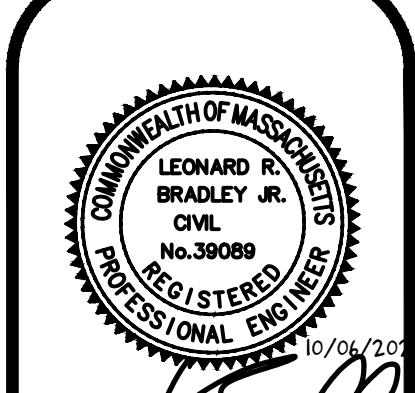
MATCH LINE - SEE SHEET II



SITE PLAN INDEX  
SCALE: 1" = 500'

**DiPrete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*Leonard Bradley*

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED HEREON. THIS PLAN IS APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10-06-2025	10-06-2025	10-06-2025	10-06-2025
U02	DATE	DESCRIPTION	DESIGN BY: B.A.W.
			B.A.W.
			BT
			DRAWN BY: B.A.W.

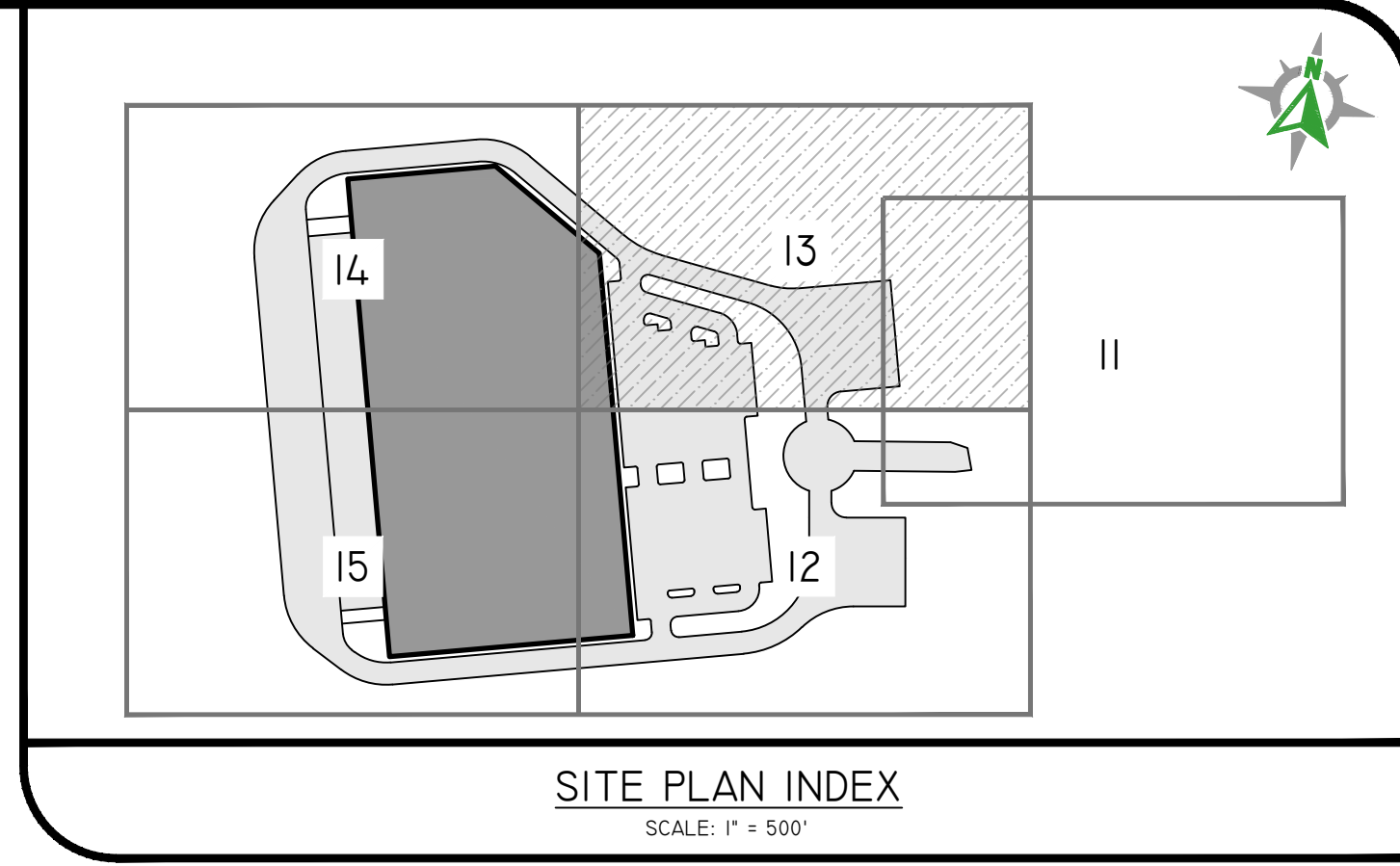
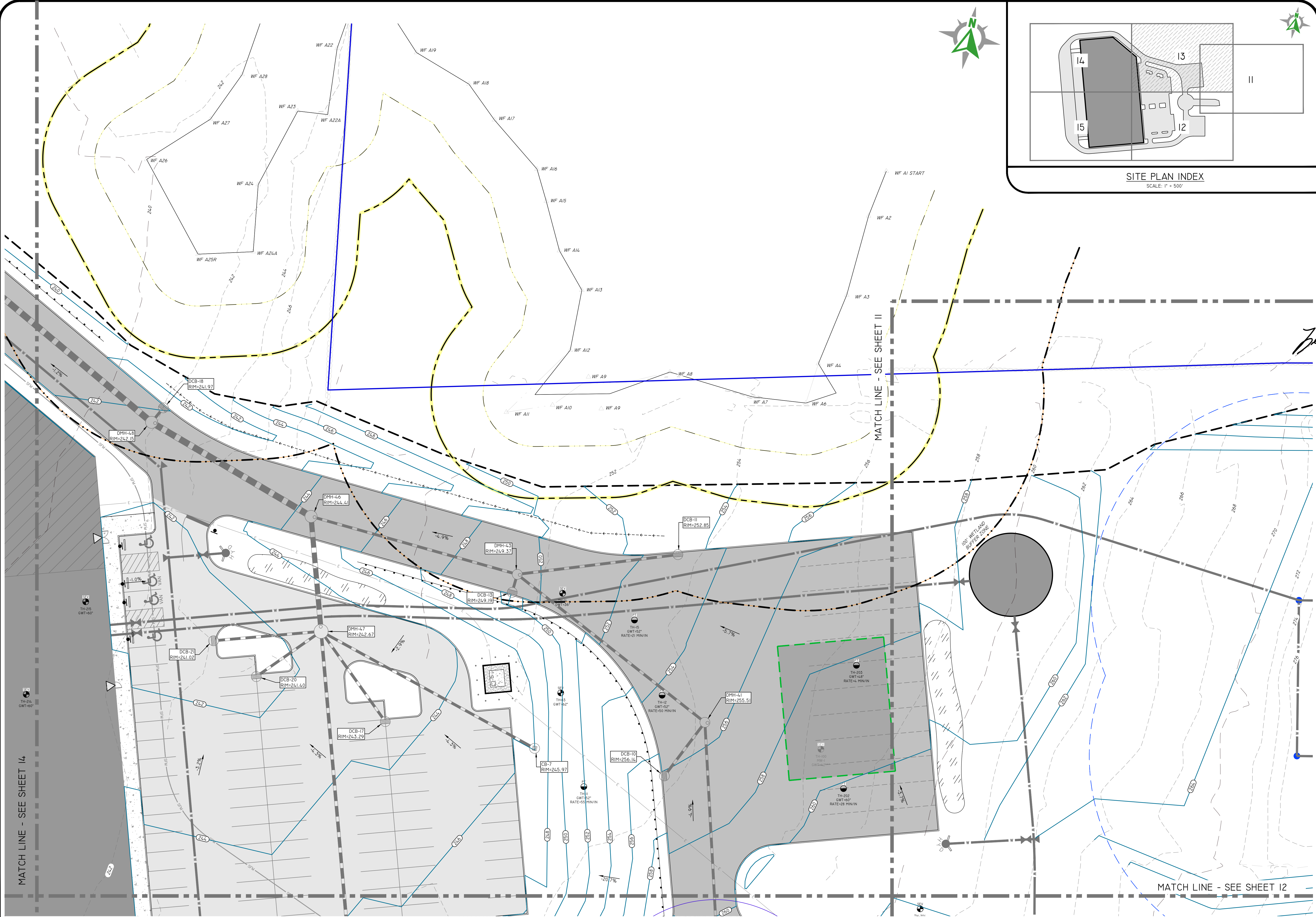
**GRADING PLAN - 2**

**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19382

DE JOB NO: 25-002 COPYRIGHT 2025 BY DIPRETE ENGINEERING ASSOCIATES, INC.

**SHEET 12** OF 25



**DiPrete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**

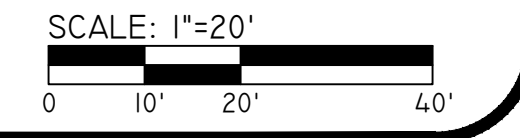


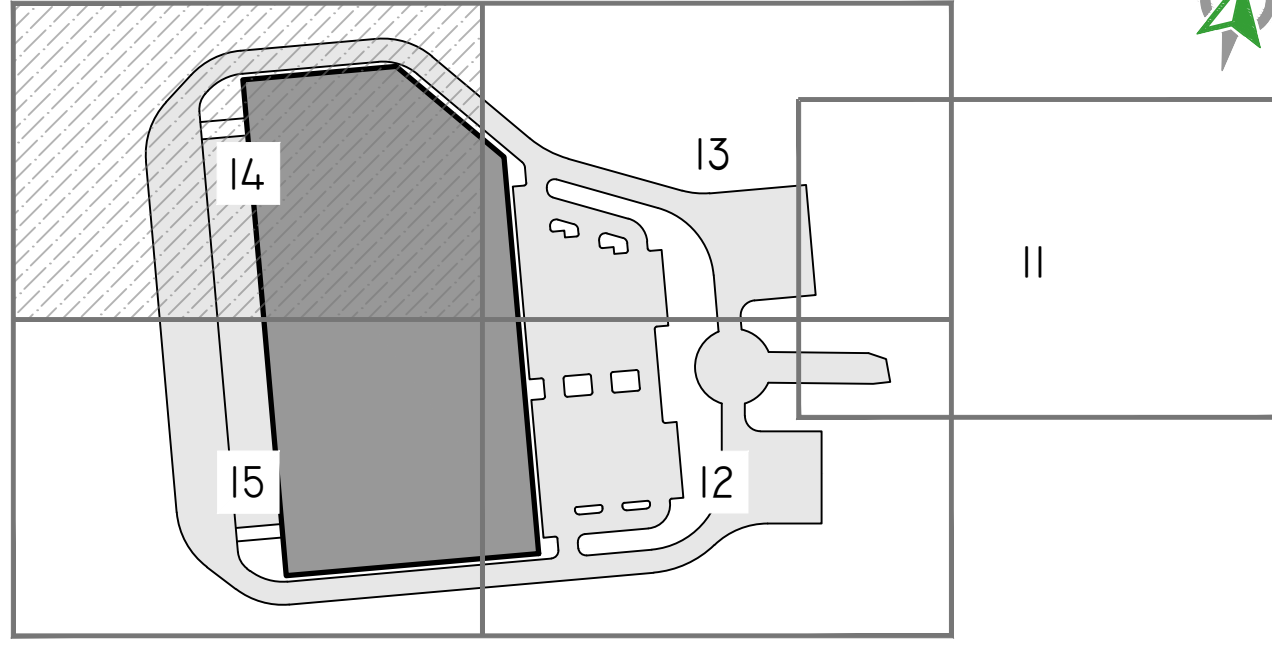
*James Bradley*

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND SEQUENCES OF CONSTRUCTION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
 PROGRAMS UTILIZED CONSISTENT WITH THE PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

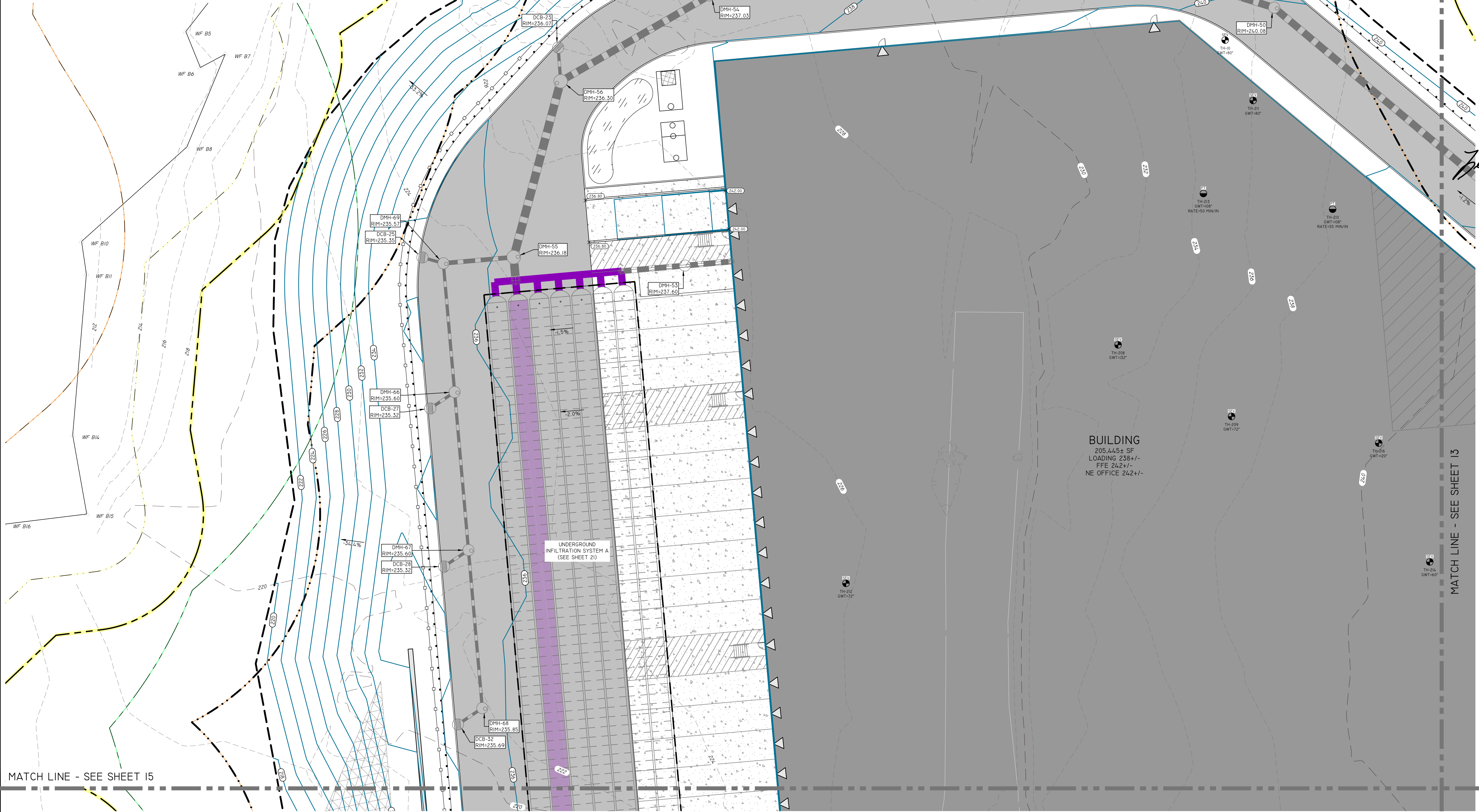
NO.	DATE	DESCRIPTION	BY
1	10-05-2022	SITE PLAN APPLICATION	B.A.W.
2			B.T.
DRAWN BY: B.A.W.			DESIGN BY: F.J.D.

**GRADING PLAN - 3**  
**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS  
 PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19228  
 DE JOB NO. 254-002 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.



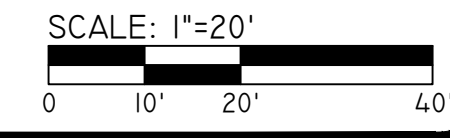


**SITE PLAN INDEX**  
SCALE: 1" = 500'



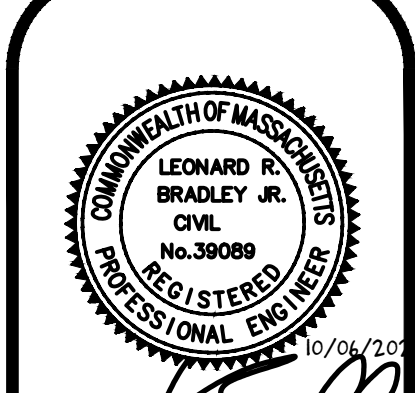
MATCH LINE - SEE SHEET 15

MATCH LINE - SEE SHEET 13



**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*Leonard Bradley*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS PROGRAMS UTILIZED CONSISTENT WITH THE PLAN AND APPROPRIATE COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
10-08-2027		SITE PLAN APPLICATION	B.A.W.
10-08-2027		DESIGN	B.A.W.

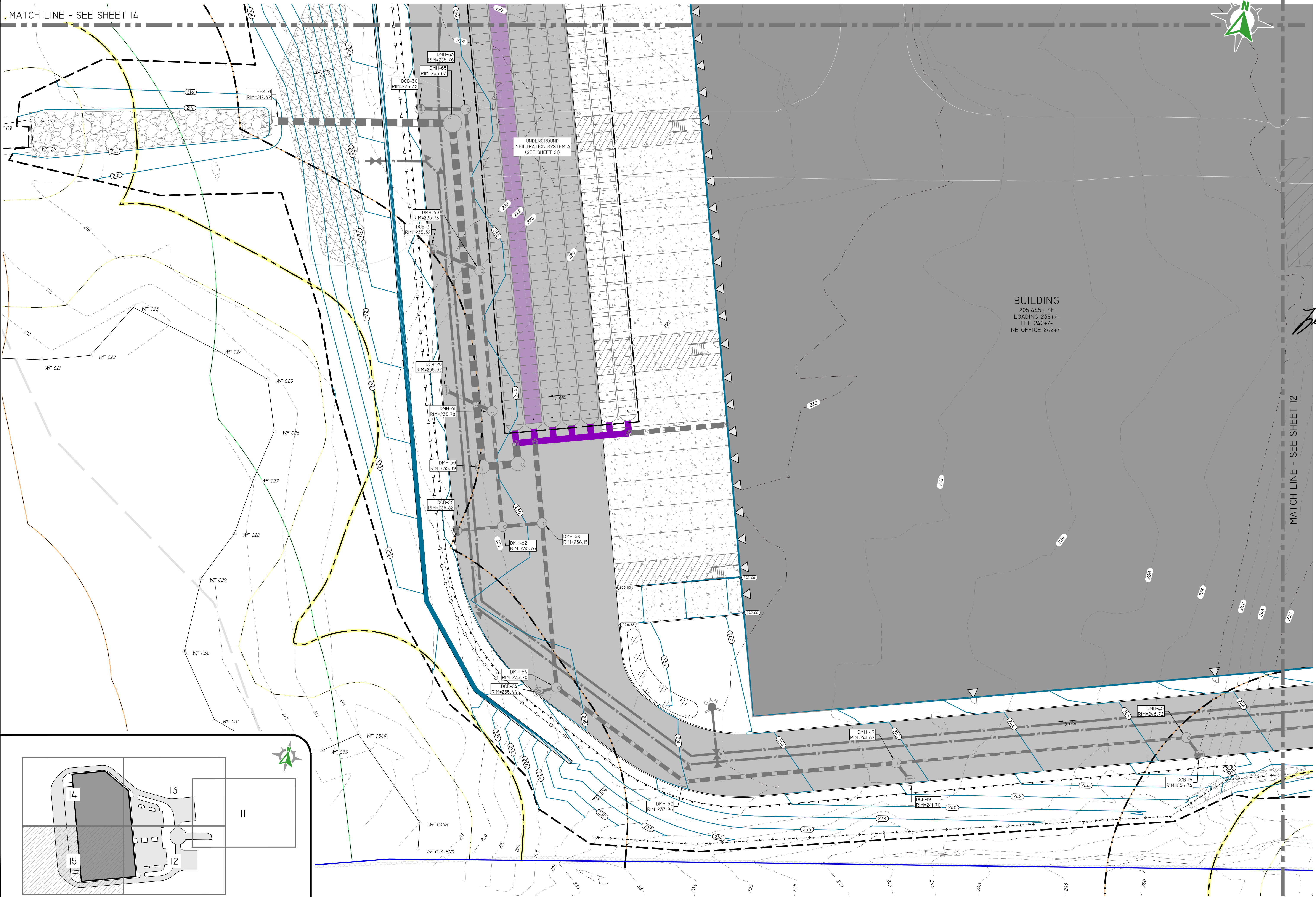
**GRADING PLAN - 4**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19428

DESIGNED BY: B.A.W.  
DRAWN BY: B.A.W.

\\DASSTORAGE\PI\DEMAIN\PROJECTS\0954-002 CAPE ROAD 23\AUTOCAD DRAWINGS\0954-002.PLAN.DWG PLOTTED: 10/6/2027

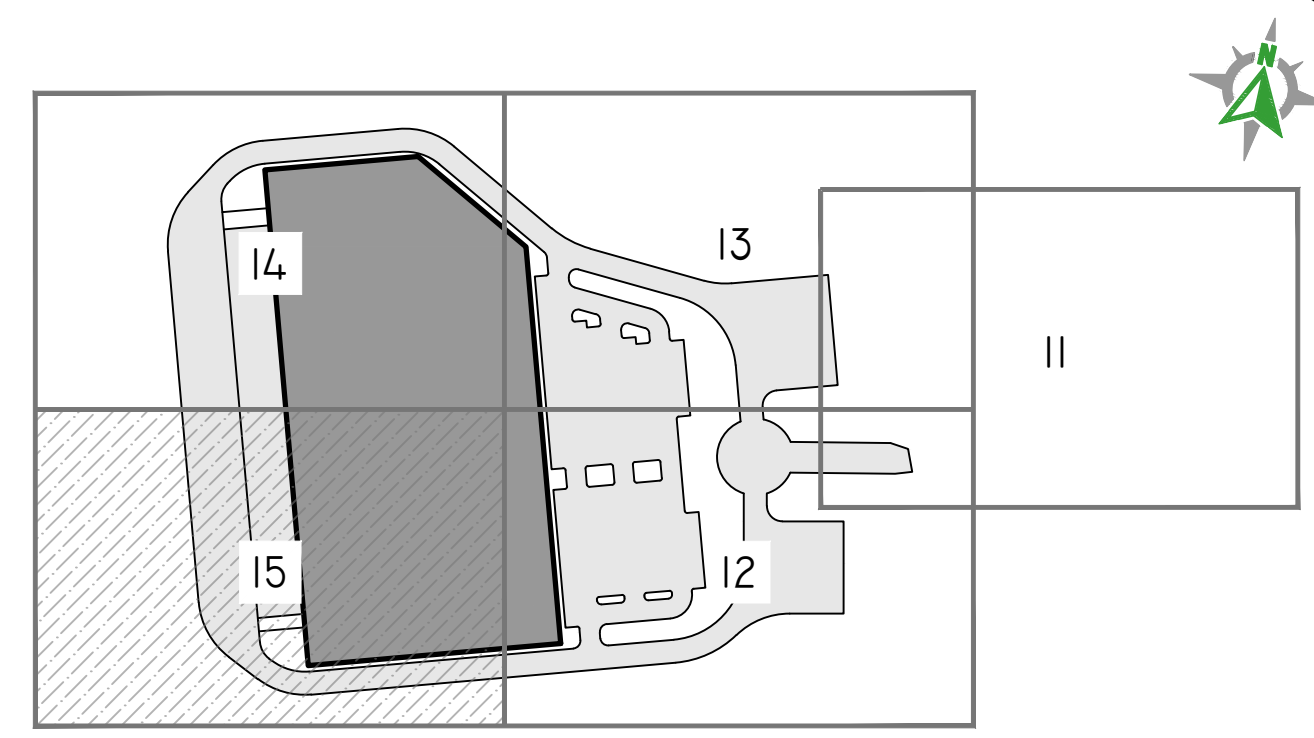
MATCH LINE - SEE SHEET 14



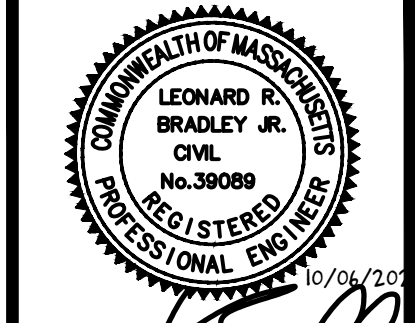
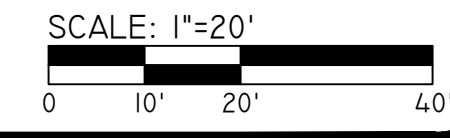
BUILDING  
205,445± SF  
LOADING 238+/-  
FFE 242+/-  
NE OFFICE 242+/-

UNDERGROUND  
INFILTRATION SYSTEM A  
(SEE SHEET Z1)

MATCH LINE - SEE SHEET 12



SITE PLAN INDEX  
SCALE: 1" = 500'



*Leonard P. Bradley*

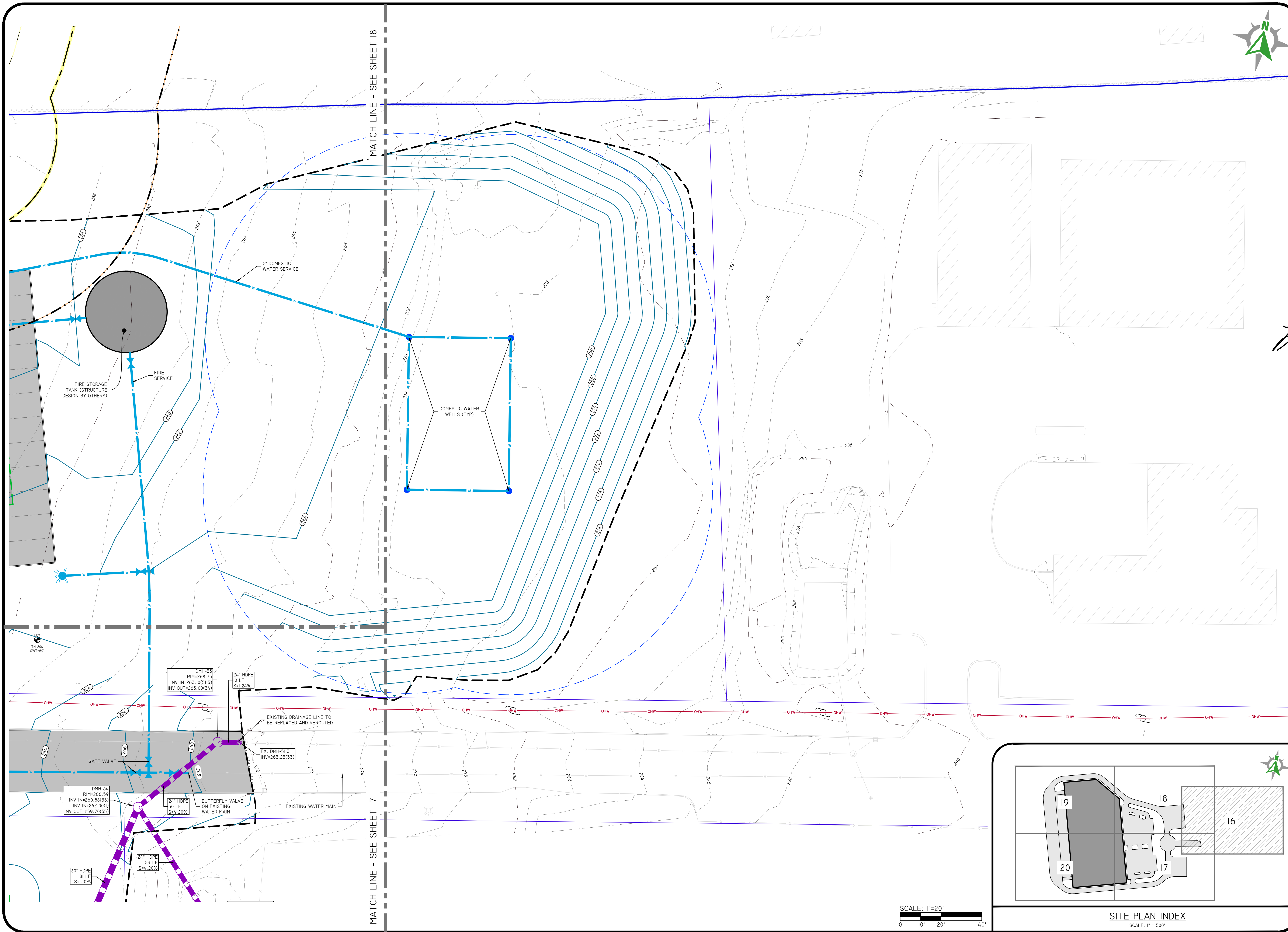
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED. CONSULT THE PLAN AND APPROPRIATE RECORDS FOR THE LOCATION OF EXISTING UTILITIES.  
DRAWN BY: B.A.W. DESIGN BY: F.J.D.

GRADING PLAN - 5  
23 CAPE ROAD REDEVELOPMENT  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS  
PREPARED FOR:  
BLUEWATER INDUSTRIAL PARTNERS  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19228  
DE JOB NO. 254-2022 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

**Diprete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com  
**Boston • Providence • Newport**

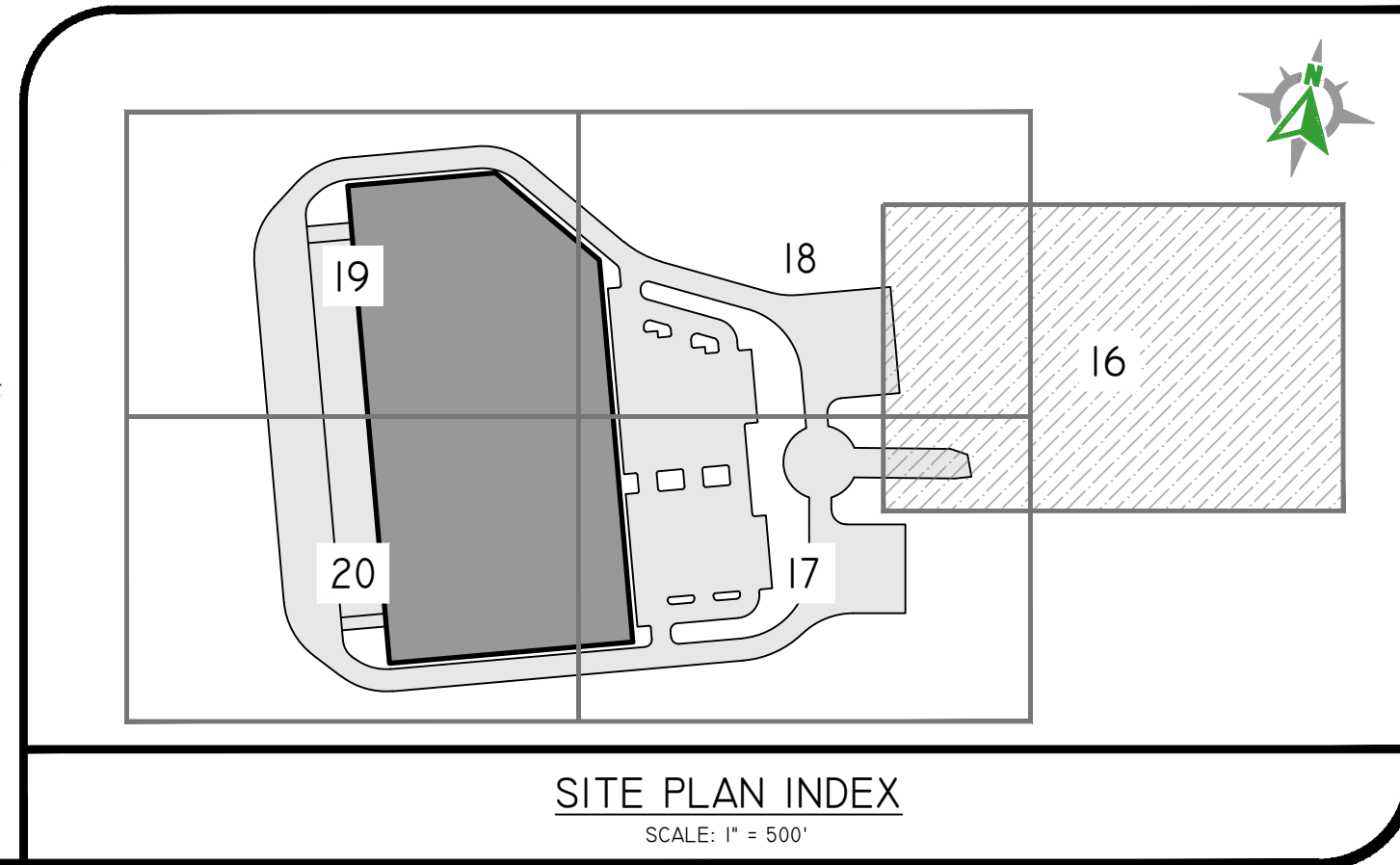
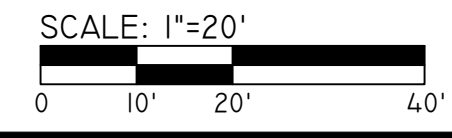
\\DAS\storage\p\main\projects\2024\23 CAPE ROAD 23\AUTOCAD DRAWINGS\2024-05\PLAN DWG PLOTTED: 10/6/2022

\\NAS01STOR001\ENR\MAIN\PROJECTS\0954-002 CAPE ROAD 23\AUTOCAD DRAWINGS\0954-002\PLAN.DWG PLOTTED: 10/09/2022



MATCH LINE - SEE SHEET 18

MATCH LINE - SEE SHEET 17



*Leonard Bradley, Jr.*  
10/09/2022

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10/09/2022	10/09/2022	10/09/2022	10/09/2022
U01	DATE	DESCRIPTION	DESIGN BY: B.A.W.
			DRAWN BY: B.A.W.

**DRAINAGE & UTILITIES PLAN - I**  
**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS  
 PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19228  
 DE JOB NO. 254-2022 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

**DiPrete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 tel 781-326-0021 fax 401-464-6006 www.diprete-eng.com

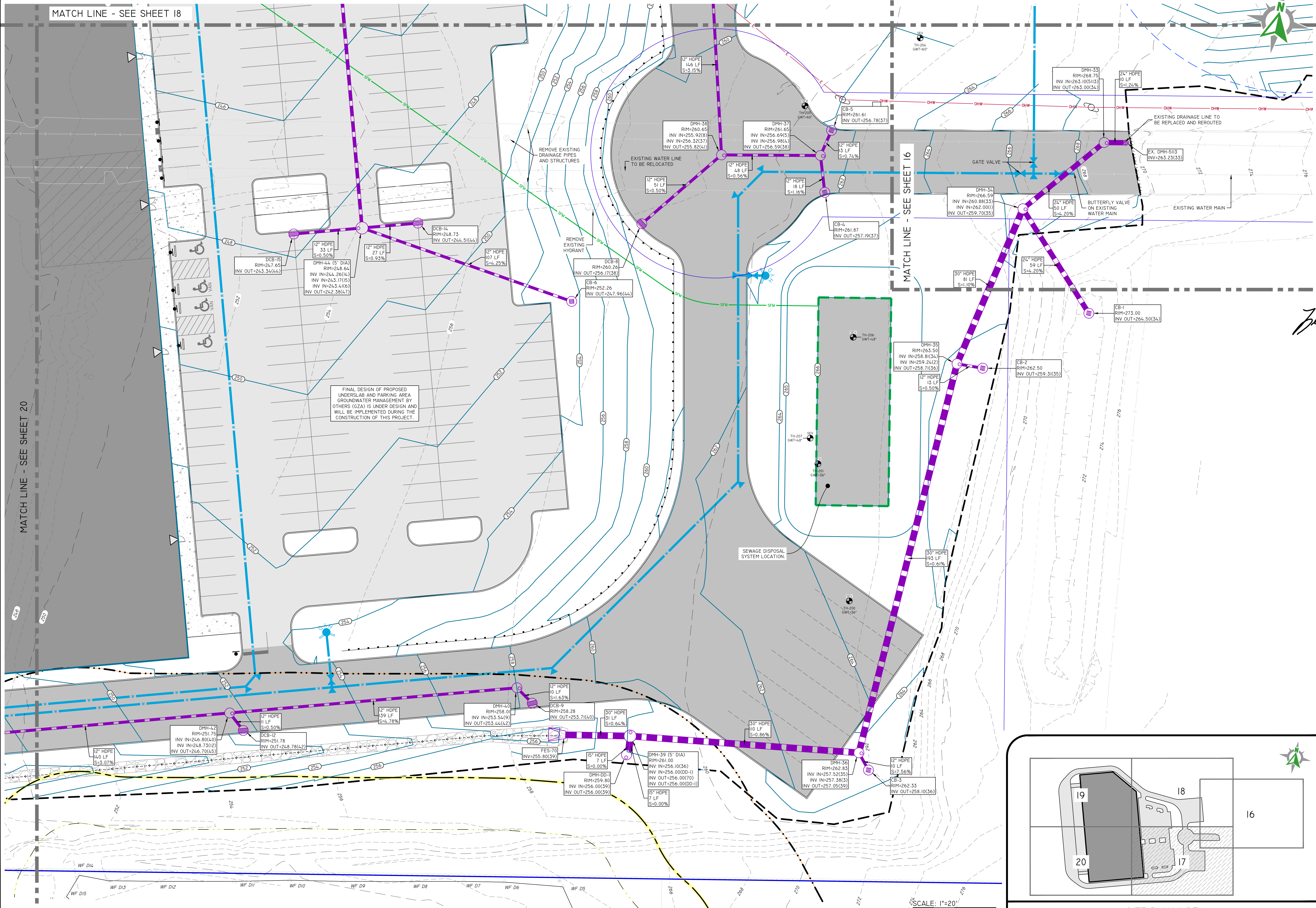
**Boston • Providence • Newport**



MATCH LINE - SEE SHEET 18

MATCH LINE - SEE SHEET 20

MATCH LINE - SEE SHEET 16



FINAL DESIGN OF PROPOSED UNDERSLAB AND PARKING AREA GROUNDWATER MANAGEMENT BY OTHERS (G2A) IS UNDER DESIGN AND WILL BE IMPLEMENTED DURING THE CONSTRUCTION OF THIS PROJECT.

REMOVE EXISTING DRAINAGE PIPES AND STRUCTURES

REMOVE EXISTING HYDRANT

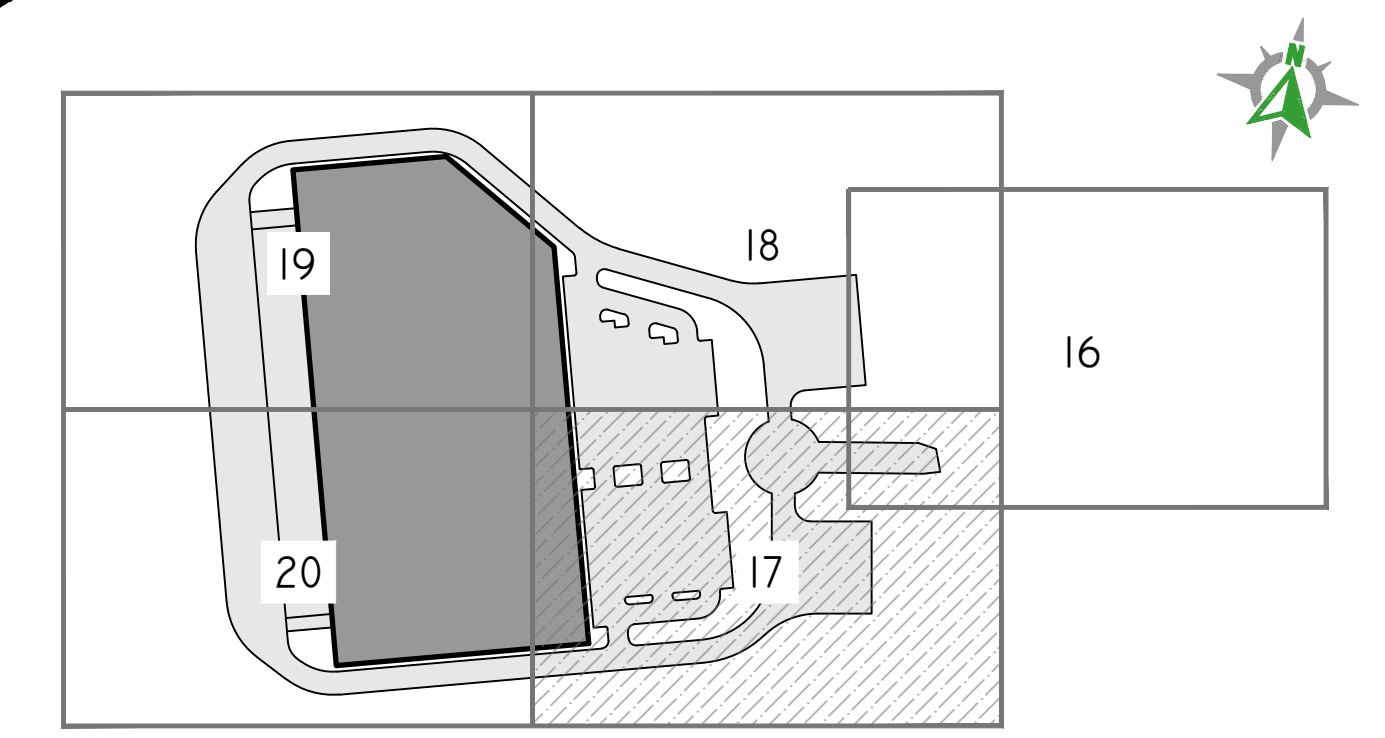
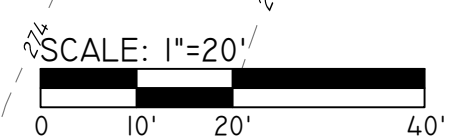
SEWAGE DISPOSAL SYSTEM LOCATION

EXISTING DRAINAGE LINE TO BE REPLACED AND REROUTED

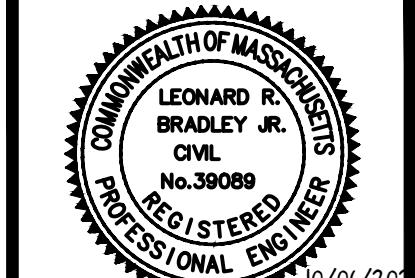
EXISTING WATER MAIN

BUTTERFLY VALVE ON EXISTING WATER MAIN

MATCH LINE - SEE SHEET 16



SITE PLAN INDEX



*Leonard Bradley*

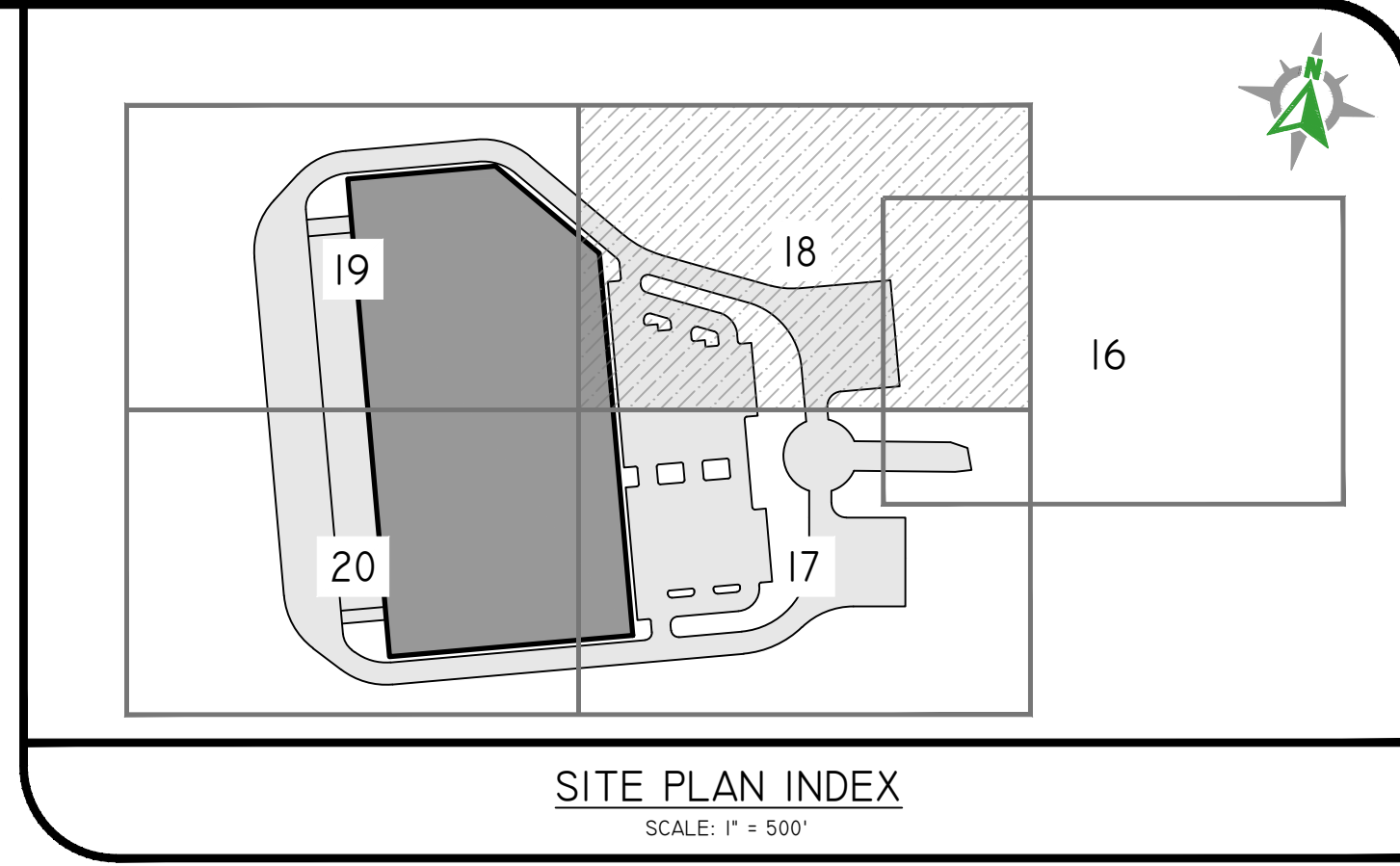
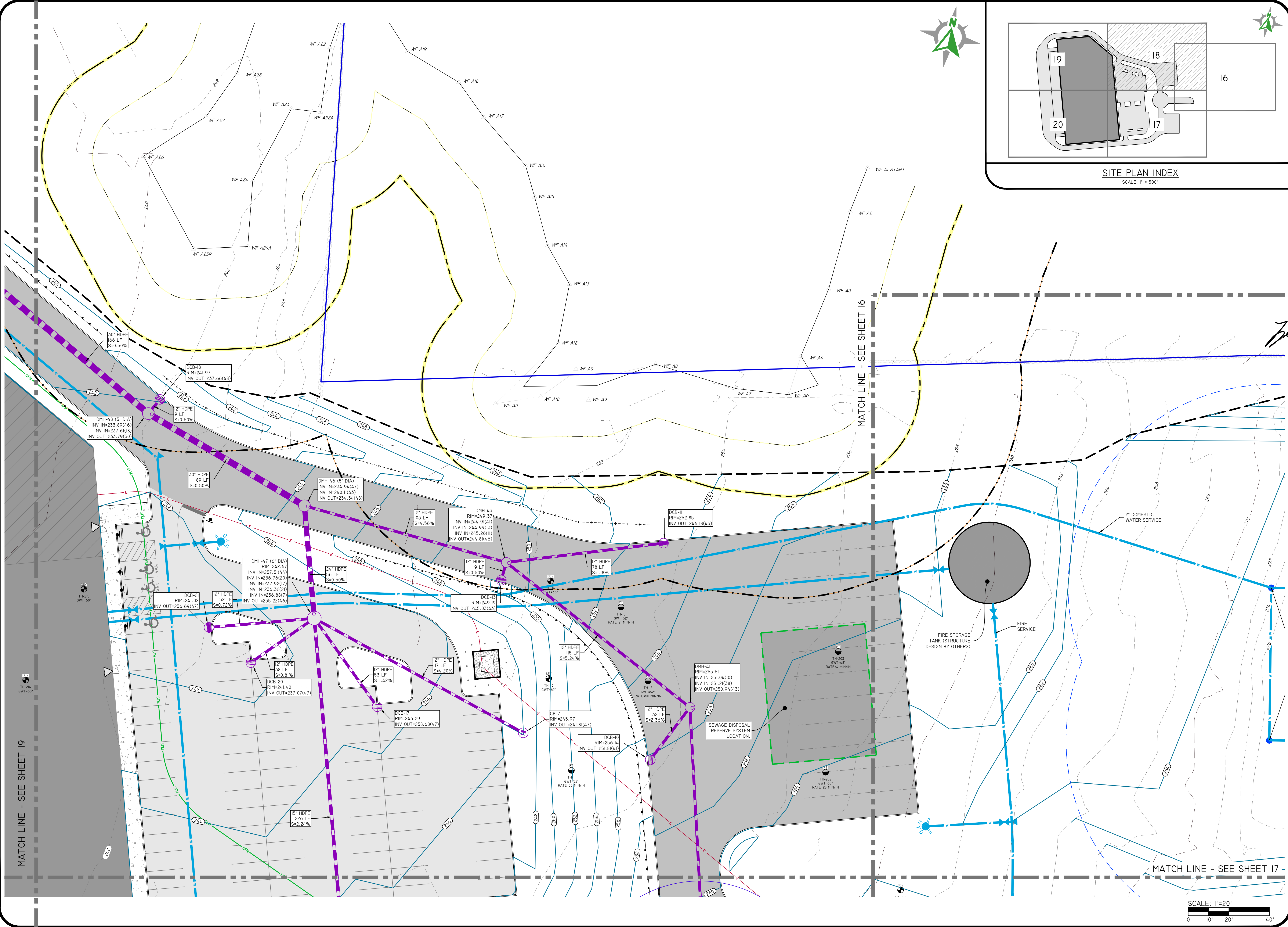
THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY ADJACENT UTILITIES. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UTILITIES. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10-08-2022	10-08-2022	10-08-2022	10-08-2022
U02	DATE	DESCRIPTION	DESIGN BY: B.A.W.
			DRAWN BY: B.A.W.

**DRAINAGE & UTILITIES PLAN - 2**  
**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS  
 PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19228  
 © 2022 DIPRETE ENGINEERING ASSOCIATES, INC.

**DiPrete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 tel 781-326-0022 fax 401-464-6000 www.diprete-eng.com  
**Boston • Providence • Newport**

\\NAS01\storage\p\demain\projects\2024\23 CAPE ROAD\DRAWINGS\2024-08\PLAN\DWG\PL0102.DWG PLOTTED: 10/06/2022



SITE PLAN INDEX  
SCALE: 1" = 500'

**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0021 fax 617-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*James Bradley, Jr.*

THIS PLAN SHEET NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHIPPED AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY PERMITS AND UTILITIES WORK. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

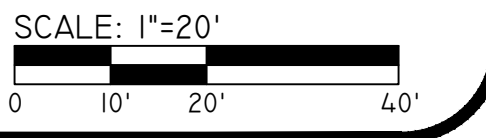
NO. 10-20-2022	DATE	DESCRIPTION	DESIGN BY: B.A.W.
NO. 10-20-2022	DATE	DESCRIPTION	DESIGN BY: B.A.W.

**DRAINAGE & UTILITIES PLAN - 3**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS

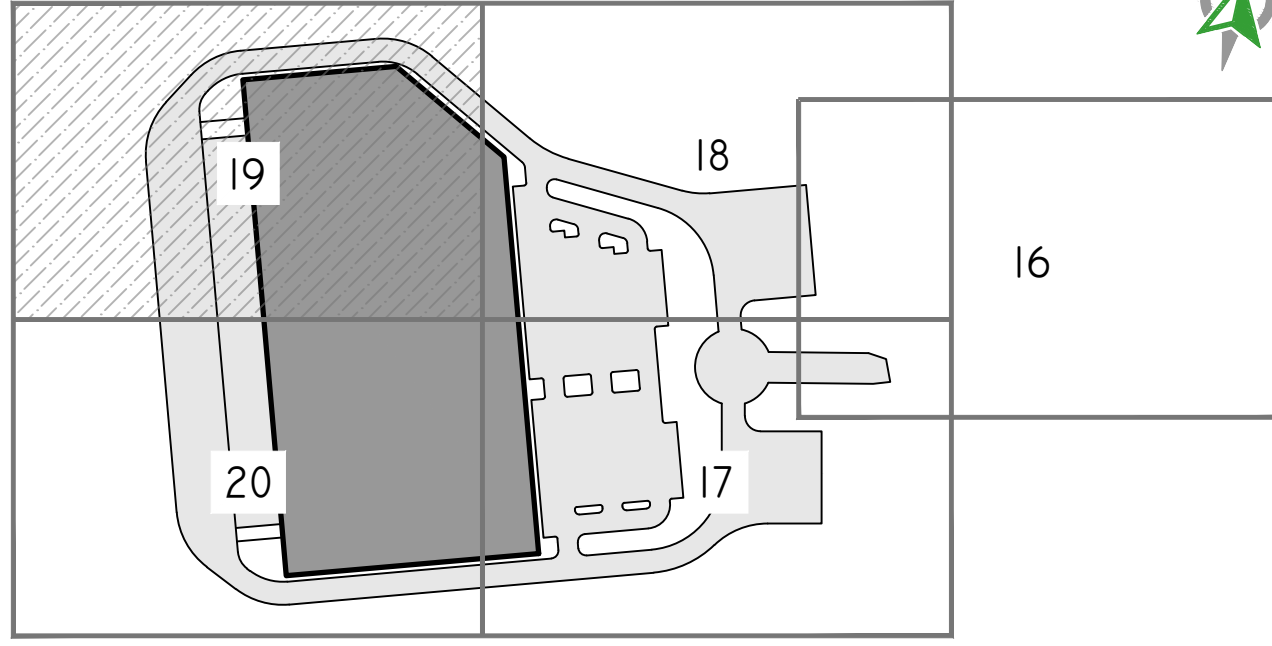
PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19382

BE JOB NO. 254-2022 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

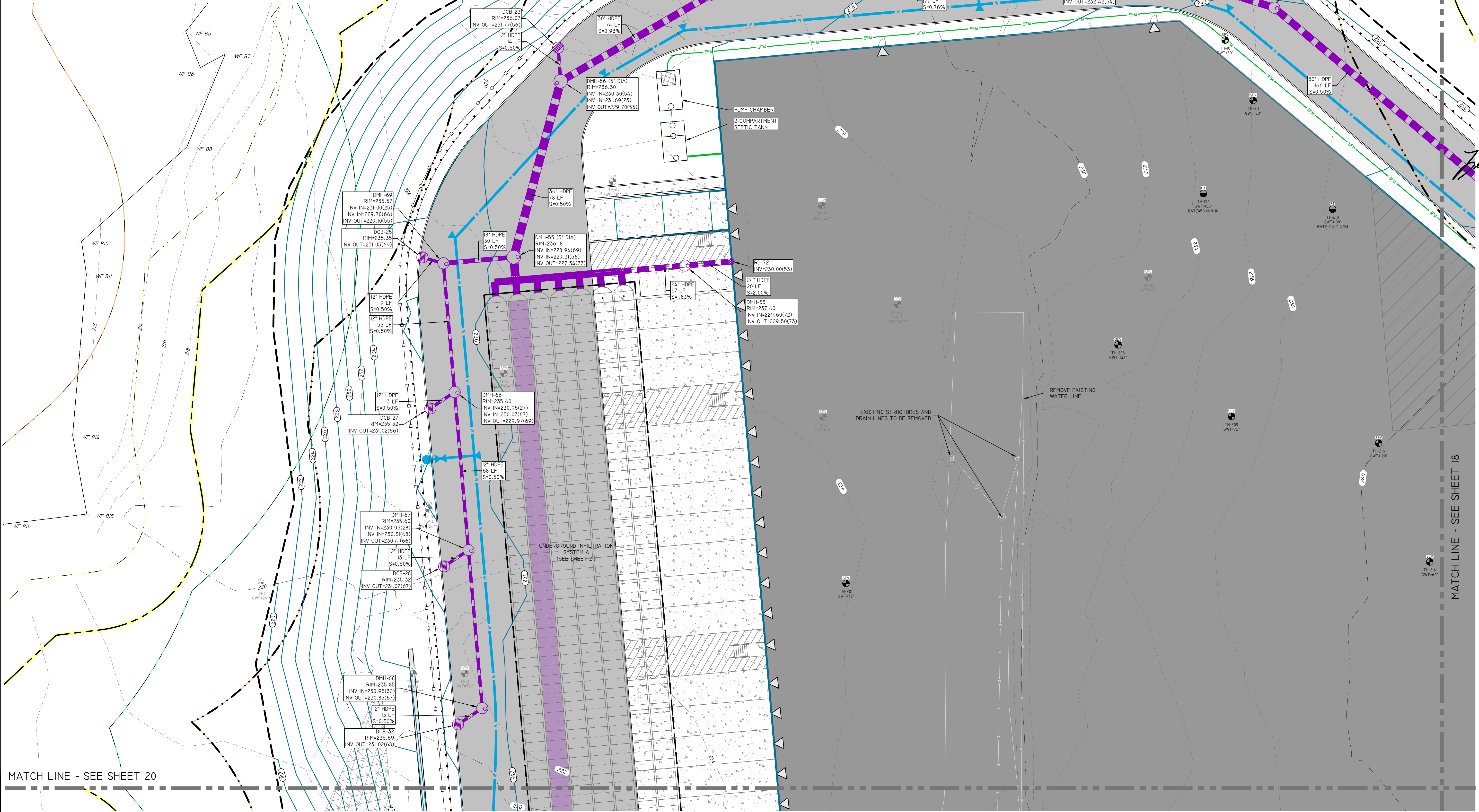
SHEET **18** OF 25



\\D:\ASSTORAGE\PROJECTS\2022\23 CAPE ROAD 23A\AUTOCAD DRAWINGS\2022-05\PLAN DWG PLOTTED: 10/16/2022

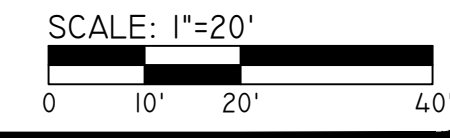


SITE PLAN INDEX  
SCALE: 1" = 500'



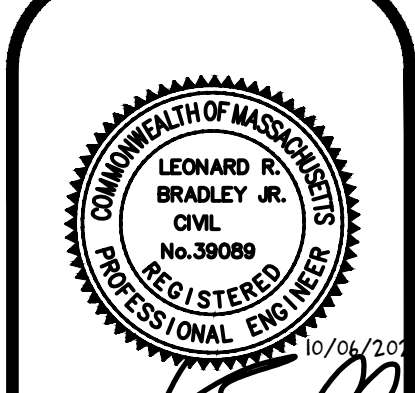
MATCH LINE - SEE SHEET 20

MATCH LINE - SEE SHEET 18



**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel 781-326-0022 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*Leonard Bradley*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, PROGRAMS, UTILITIES, CONSTRUCTION AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE DATA AND LOCATIONS OF EXISTING UTILITIES. DRAWINGS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

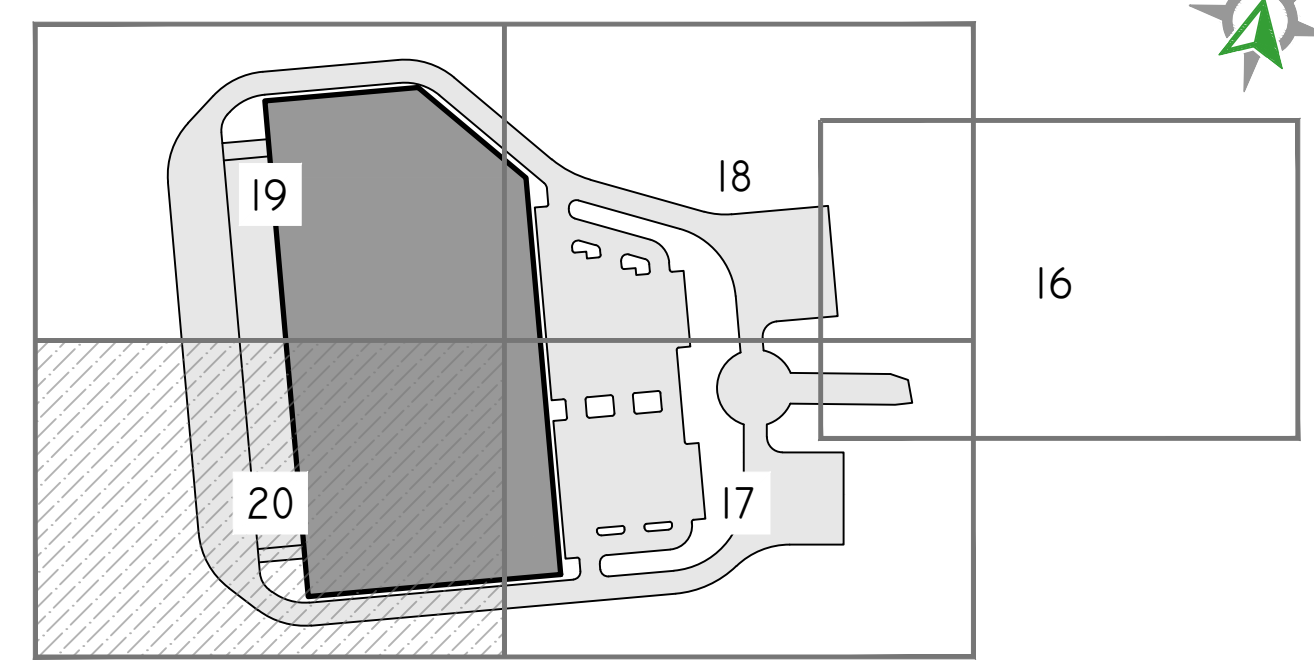
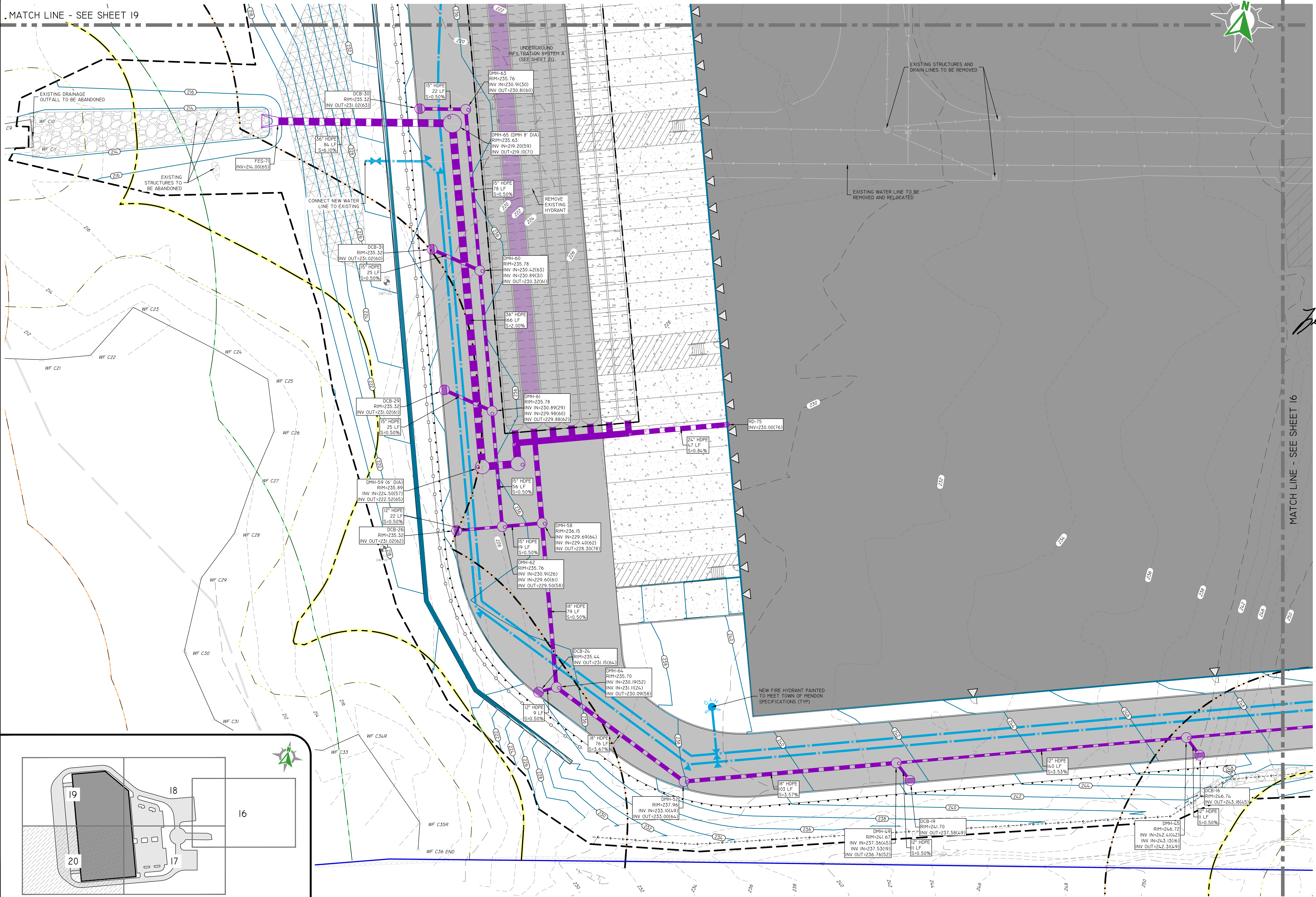
NO. 23-2827	SITE PLAN APPLICATION	B.A.W.
NO. 23-2827	DATE	DESCRIPTION
DRAWN BY: B.A.W.		DESIGN BY: K.J.D.

**DRAINAGE & UTILITIES PLAN - 4**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19388

BE JOB NO. 194-082 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

MATCH LINE - SEE SHEET 19

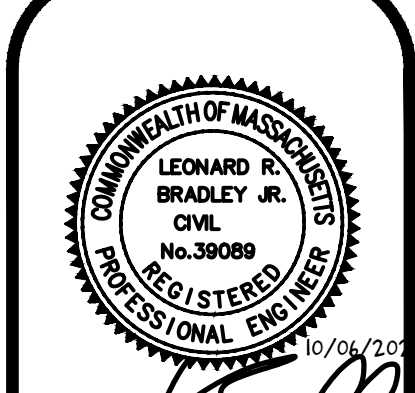


SITE PLAN INDEX  
SCALE: 1" = 500'

SCALE: 1"=20'  
0 10' 20' 40'

**DiPrete Engineering**  
 105 Eastern Avenue Suite 200 Dedham, MA 02026  
 tel 781-326-0022 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



*James Bradley*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED FOR CONSTRUCTION AND STAMPED BY THE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

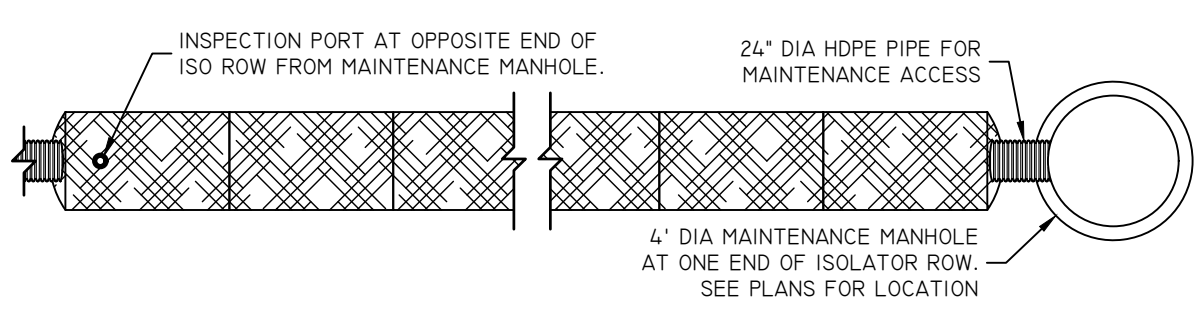
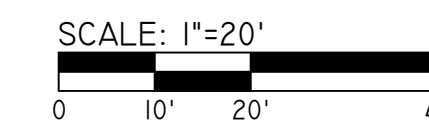
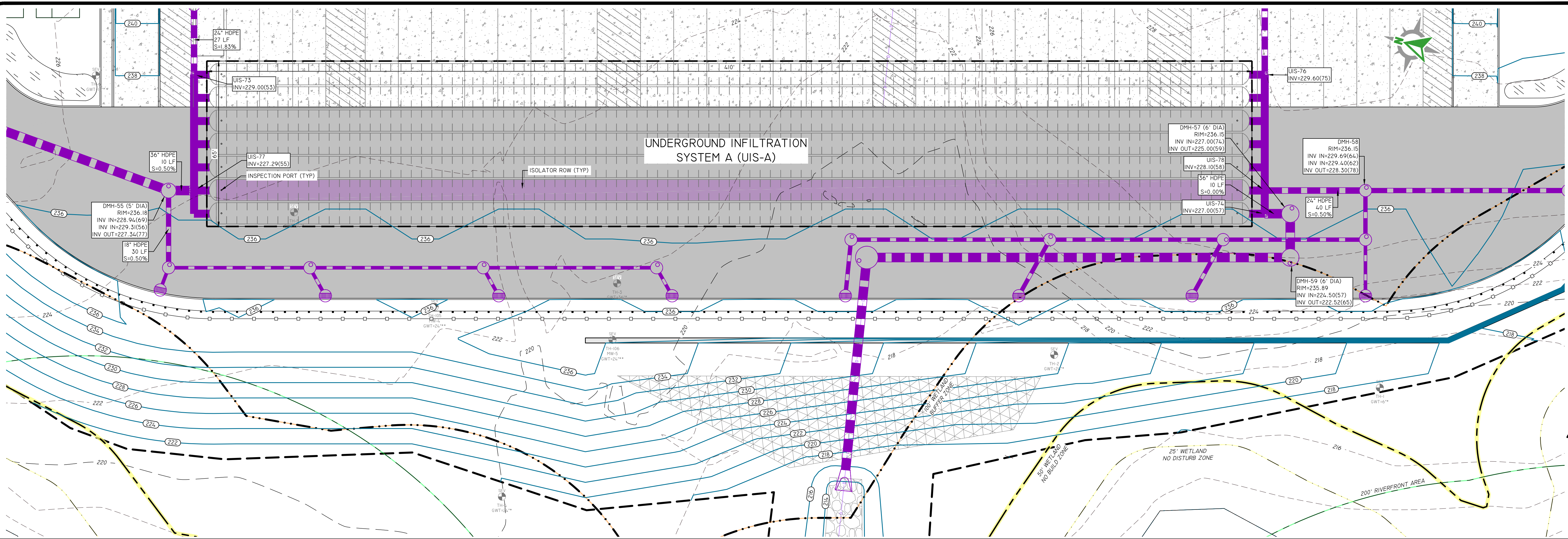
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, PROGRAMS, UTILITIES, CONSTRUCTION, AND CONFORMANCE WITH THE CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND ANY OTHER UTILITIES GOING ON THE PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES ANY RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10/28/2022	10/28/2022	10/28/2022	10/28/2022
DATE	DATE	DATE	DATE
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
DESIGN BY: B.A.W.	DESIGN BY: F.J.D.	DESIGN BY: F.J.D.	DESIGN BY: F.J.D.

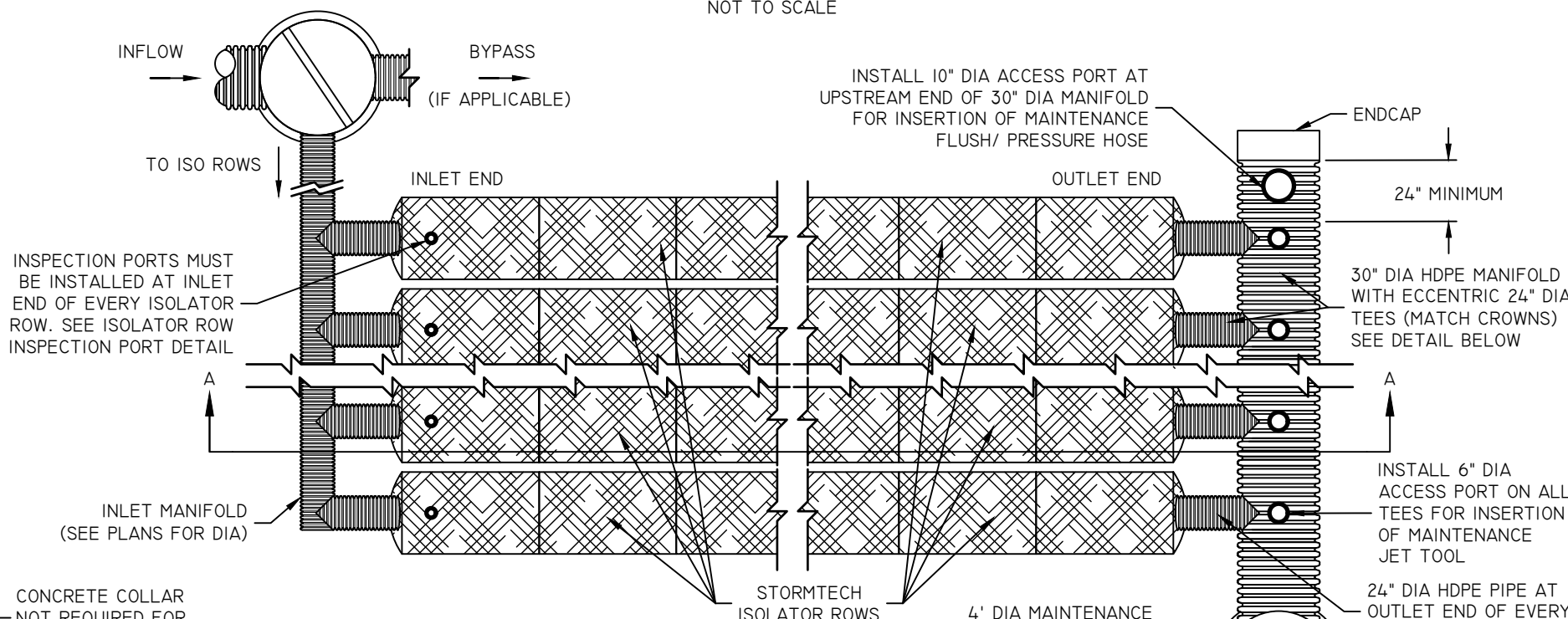
**DRAINAGE & UTILITIES PLAN - 5**  
**23 CAPE ROAD REDEVELOPMENT**  
 PARCEL ID: 14-14-23  
 MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
 100 FRONT STREET, SUITE 570  
 WEST CONSHOHOCKEN, PENNSYLVANIA 19428

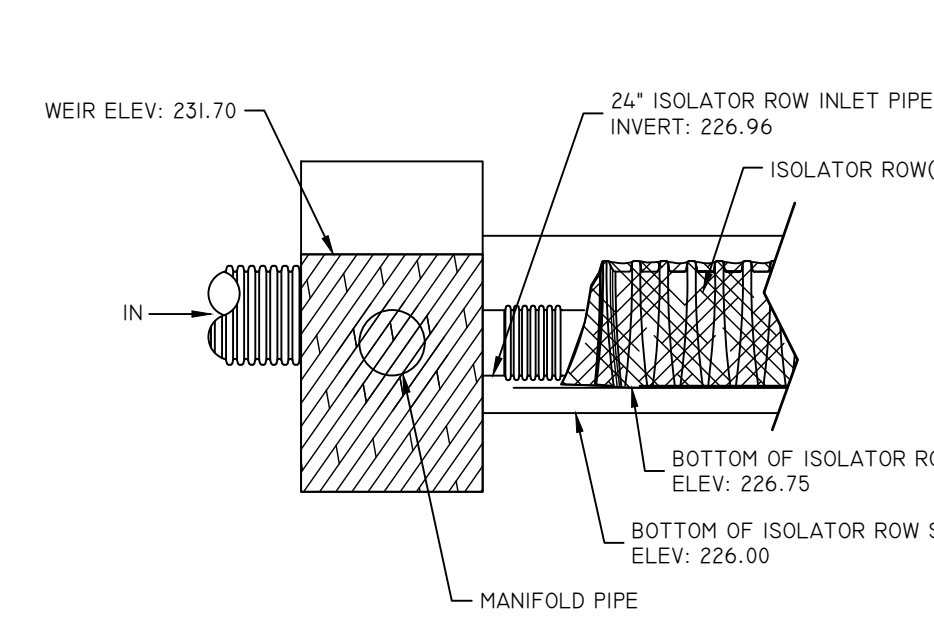
DE JOB NO. 254-2022 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.



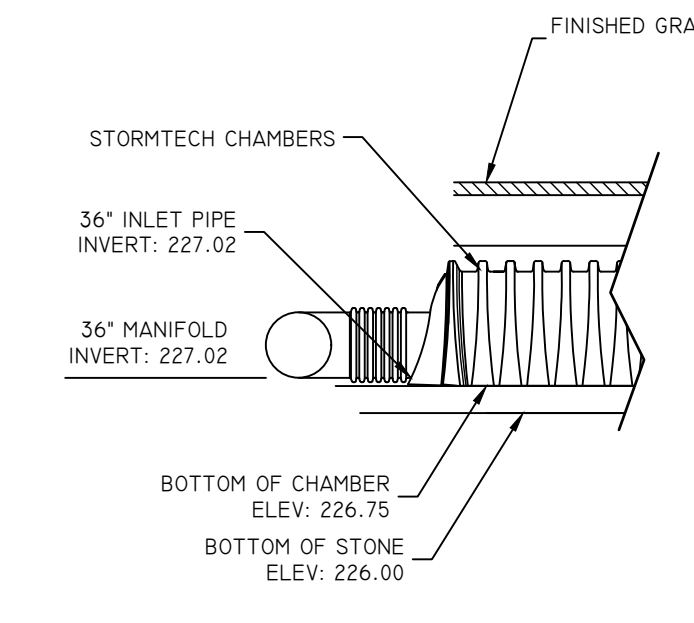
STORMTECH ISOLATOR ROW MAINTENANCE DETAIL (SINGLE ISO ROW) NOT TO SCALE



STORMTECH ISOLATOR ROW MAINTENANCE DETAIL (MULTIPLE ISO ROWS) NOT TO SCALE



SECTION A-A



SECTION B-B

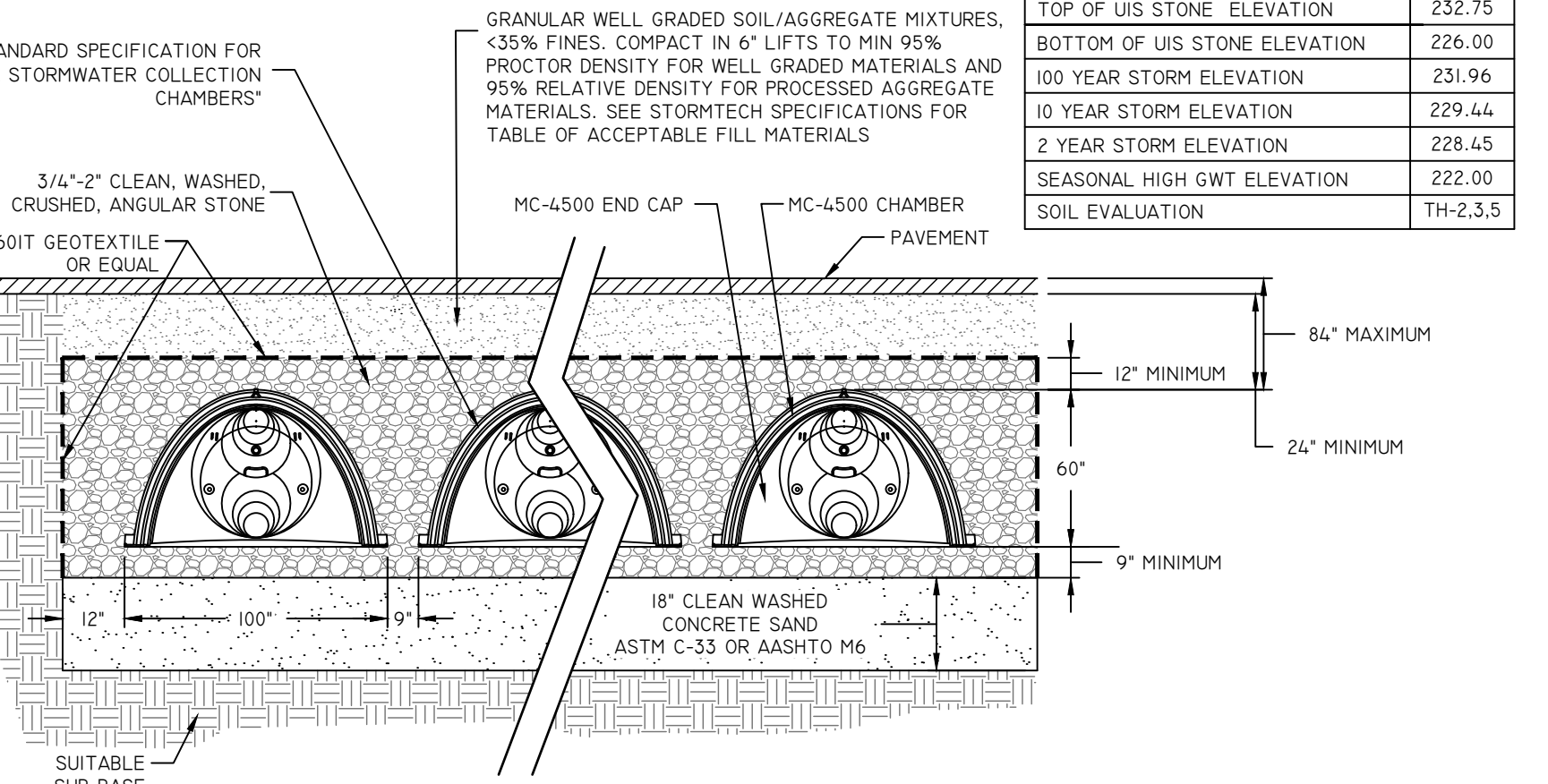
STORMTECH ELEVATIONS NOT TO SCALE

DESCRIPTION	UIS-A
TOP OF UIS STONE ELEVATION	232.75
BOTTOM OF UIS STONE ELEVATION	226.00
100 YEAR STORM ELEVATION	231.96
10 YEAR STORM ELEVATION	229.44
2 YEAR STORM ELEVATION	228.45
SEASONAL HIGH GWT ELEVATION	222.00
SOIL EVALUATION	TR-2.3.5

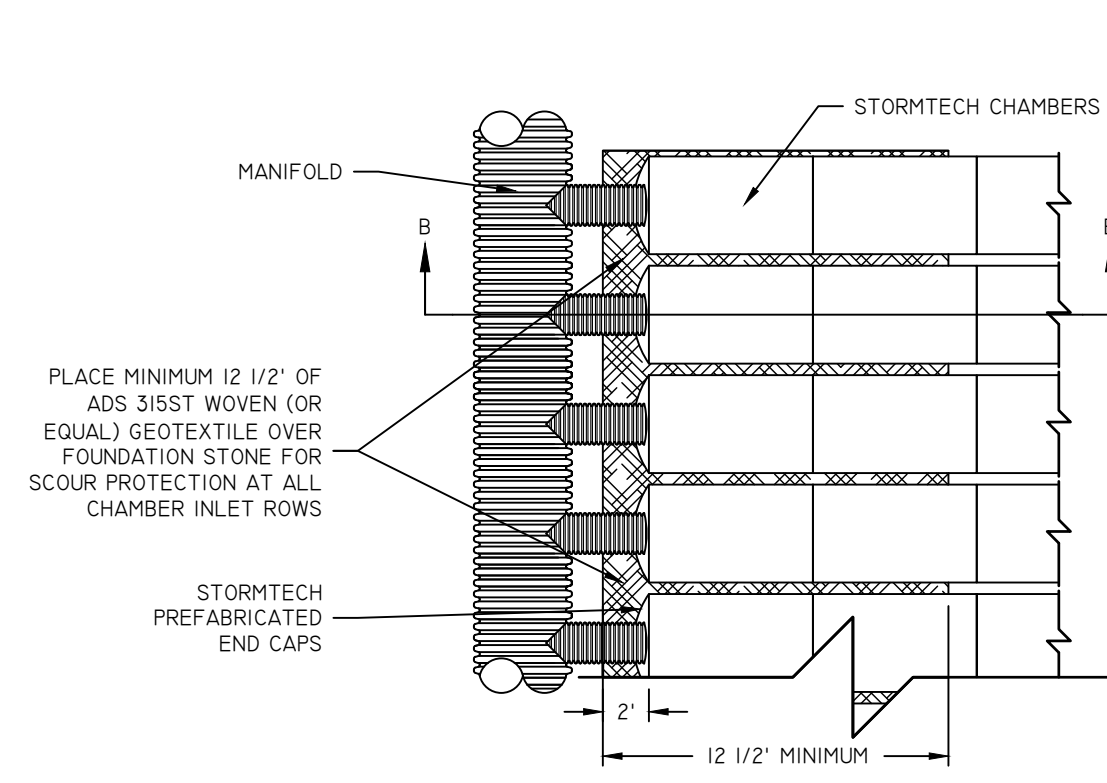
CHAMBERS SHALL MEET ASTM F2418 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'

**NOTES:**

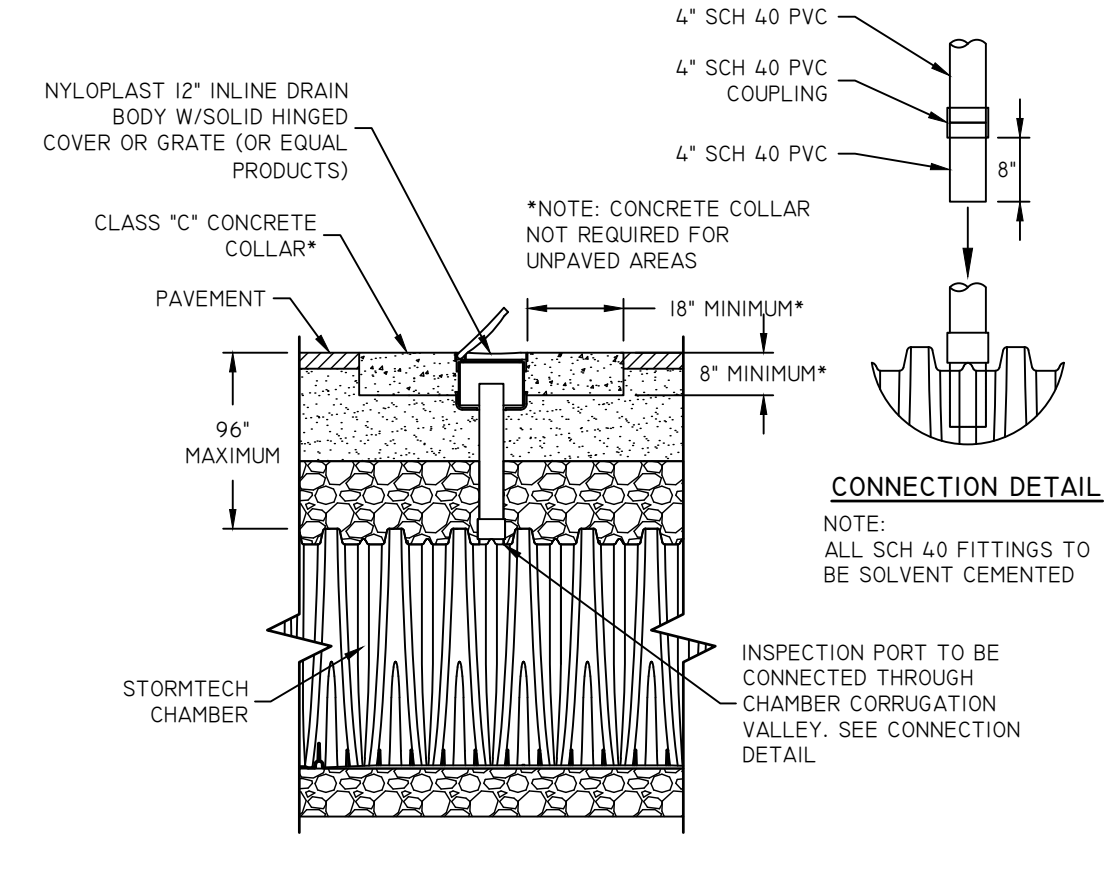
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
- ALL STORMTECH CHAMBERS AND ASSOCIATED ANCHILARY COMPONENTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.



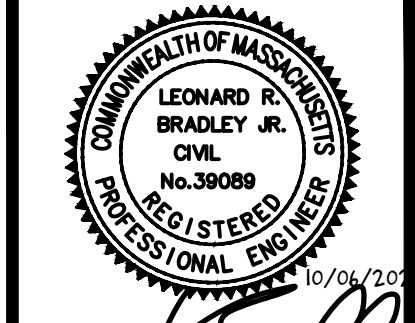
STORMTECH MC-4500 TYPICAL CROSS SECTION (SAND FILTER) NOT TO SCALE



STORMTECH MANIFOLD DETAIL NOT TO SCALE



STORMTECH GENERAL INSPECTION PORT DETAIL NOT TO SCALE



*Leonard P. Bradley*

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHARPLY ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY UTILITIES. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILITIES GOING ON THIS PLAN ARE APPROXIMATE. DIMENSIONS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
10-08-2022		SITE PLAN APPLICATION	B.A.W.
		DESIGN	K.J.D.

**STORMTECH DETAILS**

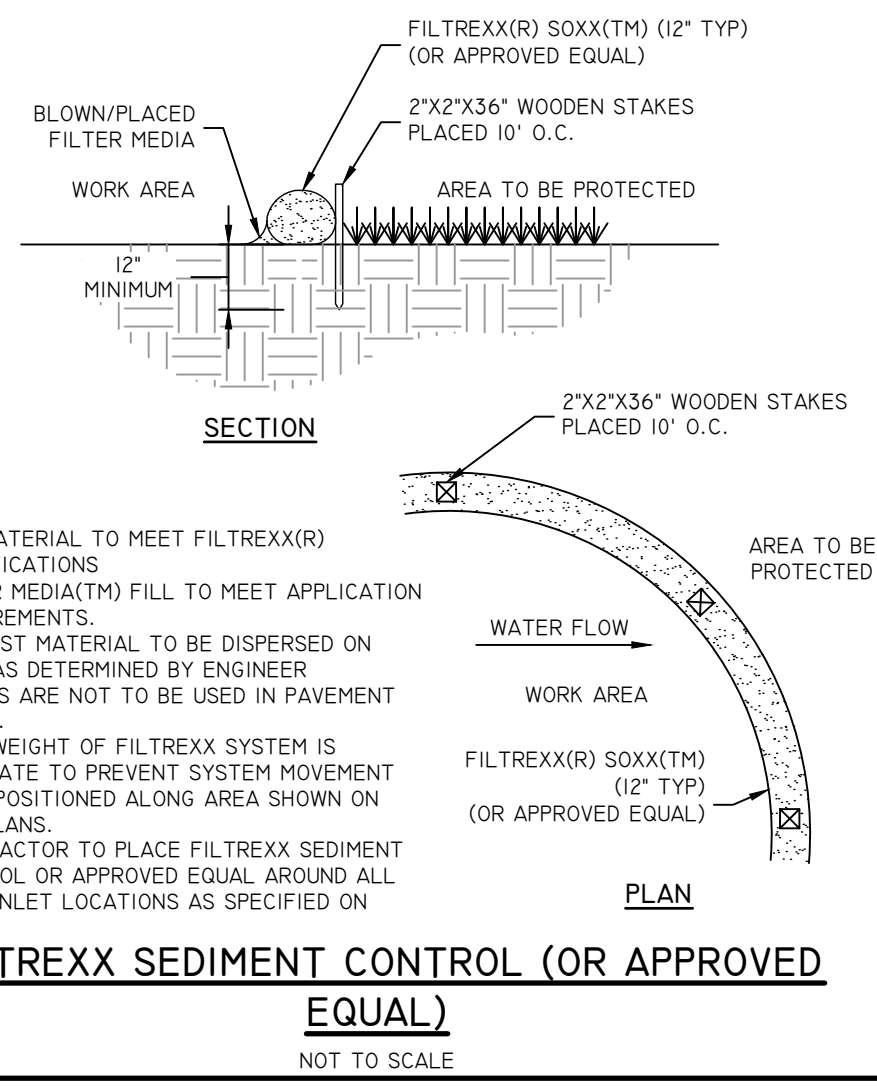
**23 CAPE ROAD REDEVELOPMENT**

PARCEL ID: 14-14-23

MENDON, MASSACHUSETTS

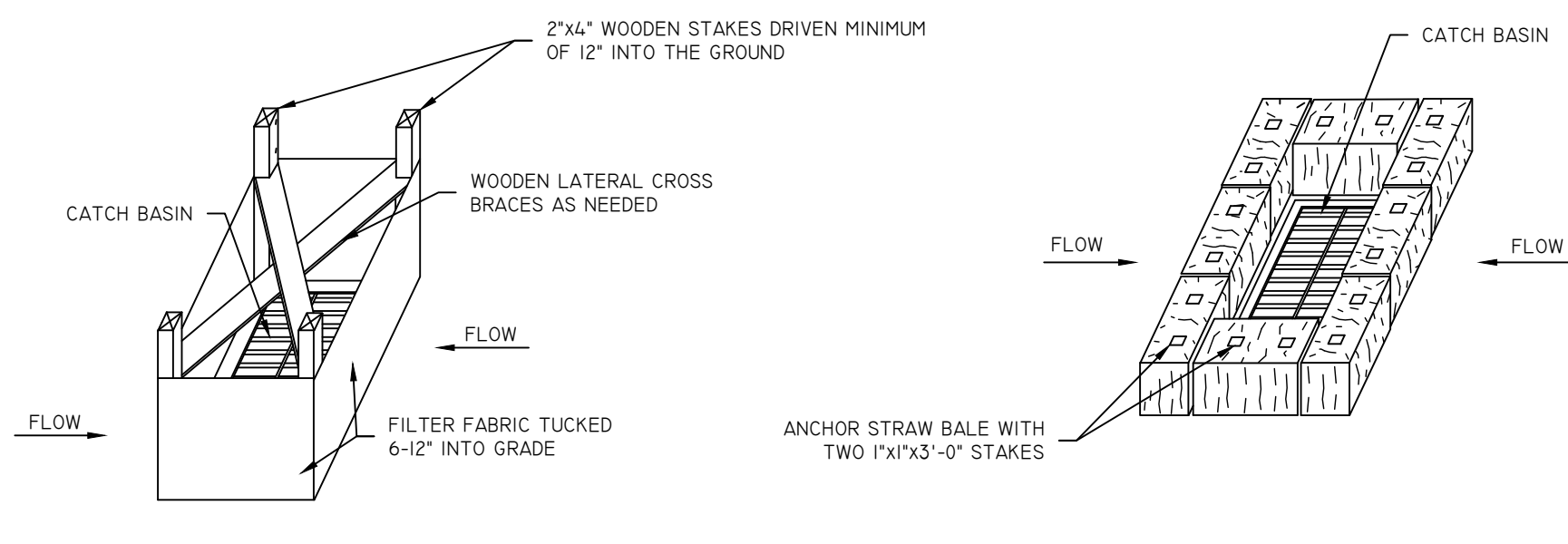
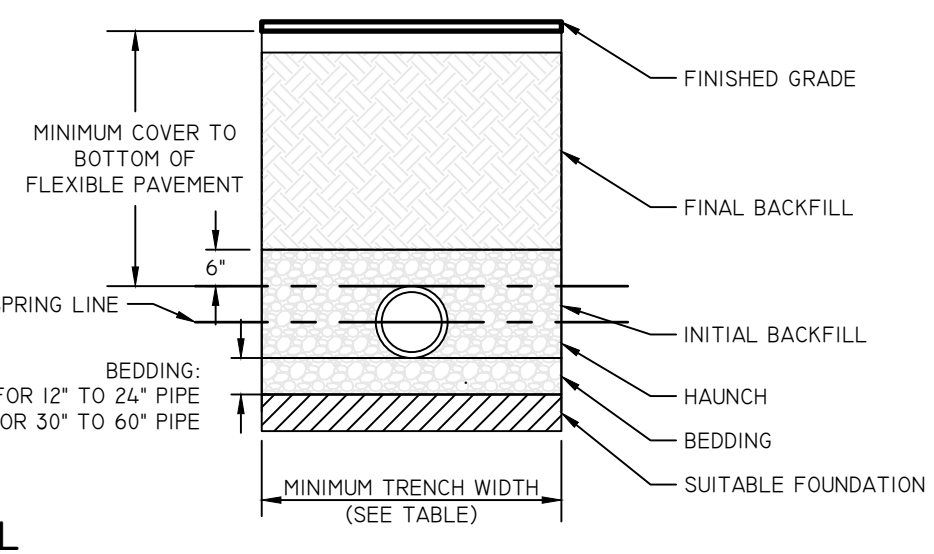
PREPARED FOR: BLUEWATER INDUSTRIAL PARTNERS

100 FRONT STREET, SUITE 570 WEST CONSHOHOCKEN, PENNSYLVANIA 19228

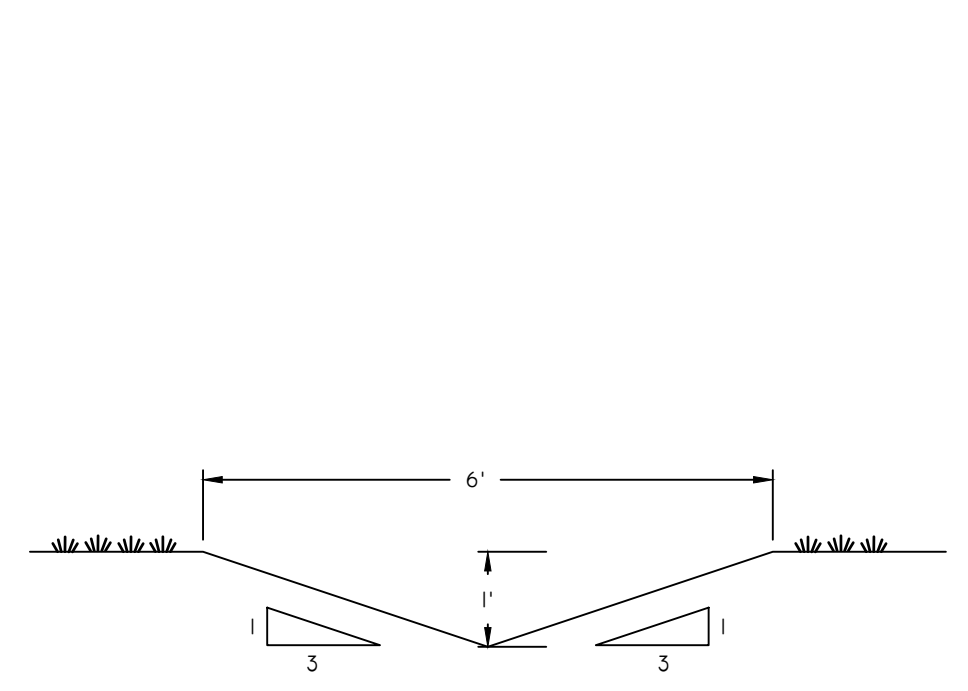


- INSTALLATION NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM), 6" (150MM) FOR 30"-60" (750MM-1500MM).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" PIPE AND 24" OF COVER FOR 60" PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		



- NOTES:**
- STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
  - SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
  - REFER TO LOW TERN/SHORT TERM MAINTENANCE NOTES AND OPERATION & MAINTENANCE PLAN FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.
- CATCH BASIN EROSION CONTROL**  
NOT TO SCALE

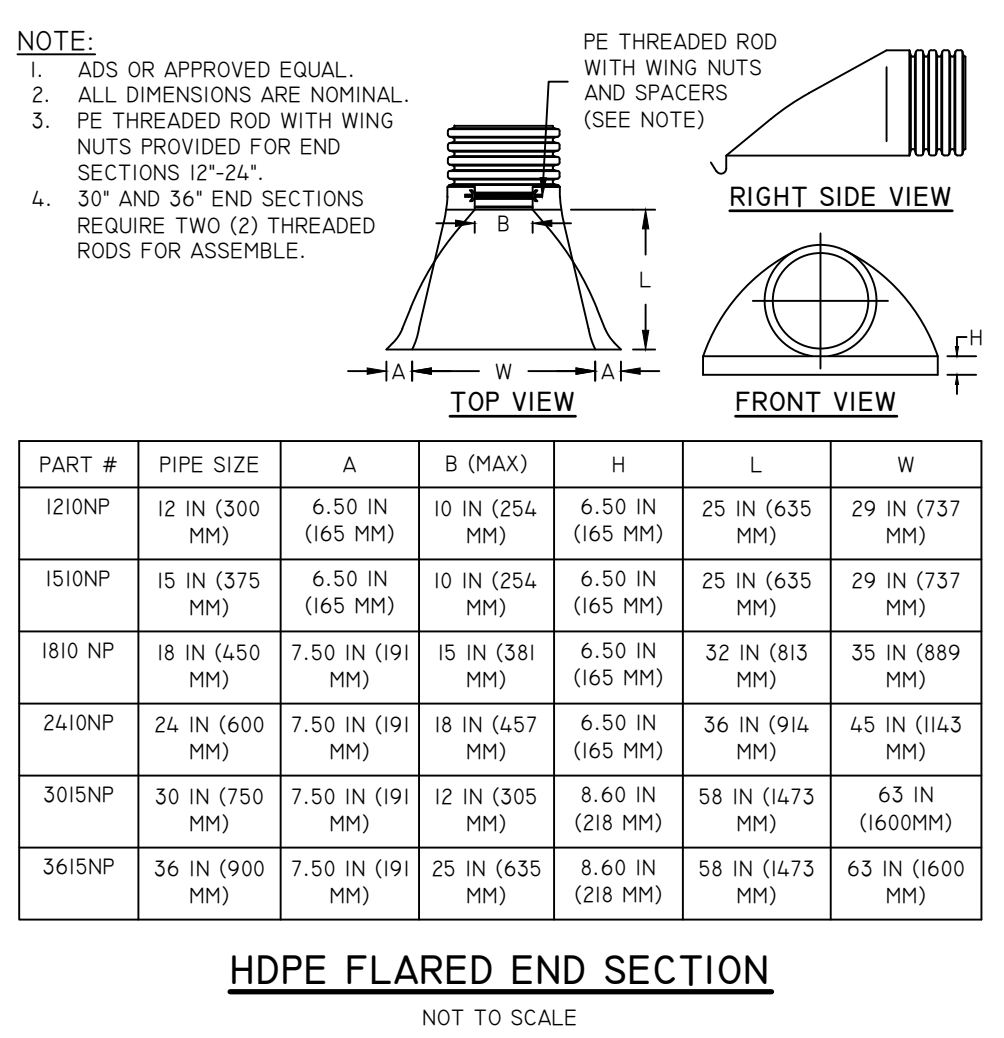
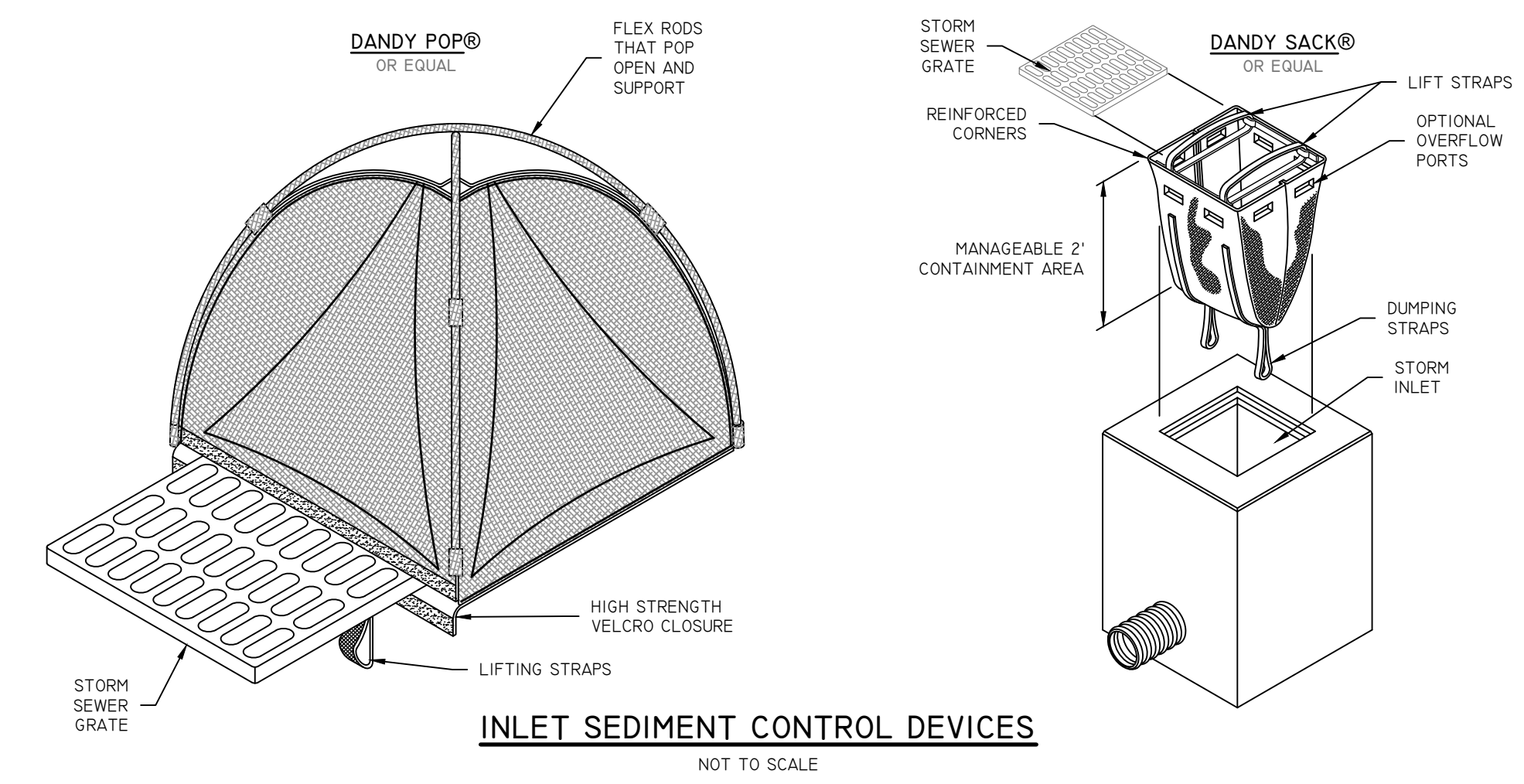
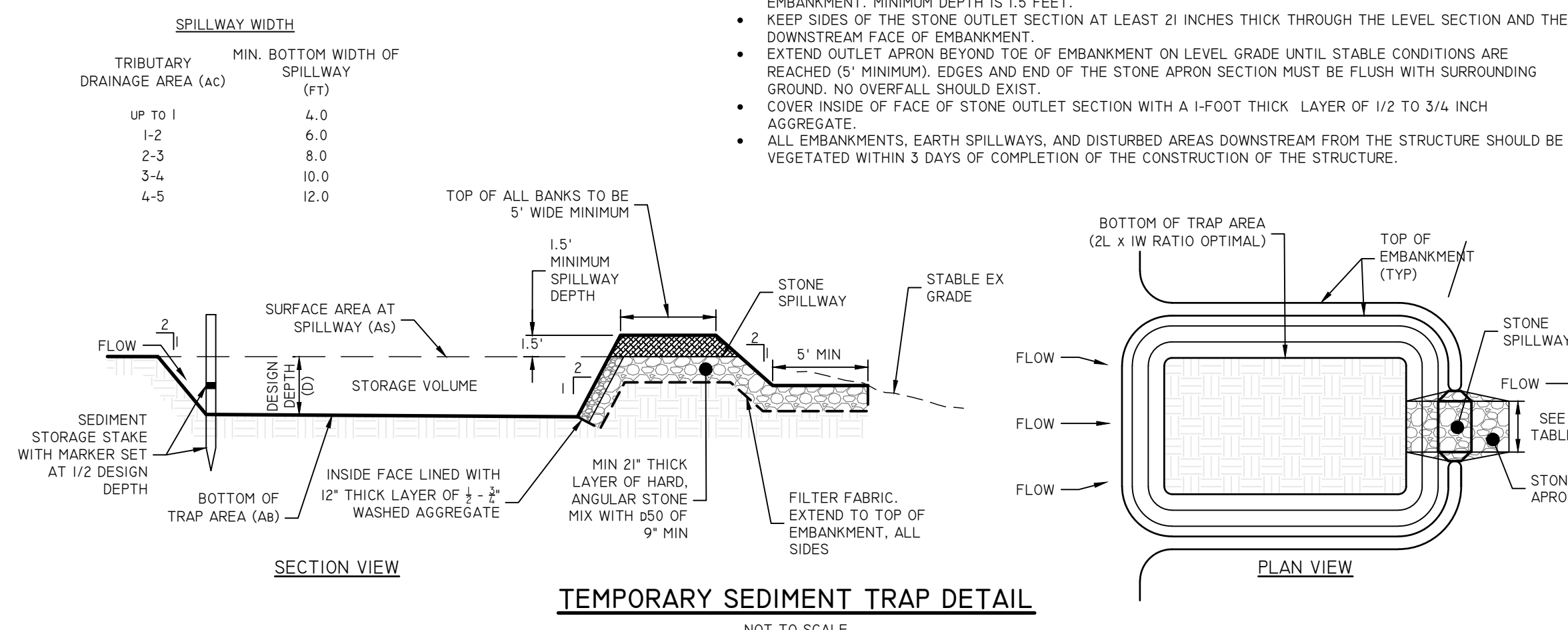


- GENERAL NOTES:**
- TEMPORARY SEDIMENT TRAPS SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS (LATEST REVISION).
  - THE TEMPORARY SEDIMENT TRAP SHALL HAVE A MINIMUM STORAGE VOLUME OF 67 CUBIC YARDS PER ACRE OF CONTRIBUTING DRAINAGE AREA.
  - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
  - THE OUTLET SPILLWAY SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
  - THE OUTLET SPILLWAY SHALL CONSIST OF HARD, ANGULAR, WELL-GRADED STONE MIXTURE WITH 95% OF 9 INCHES MINIMUM. INSIDE FACING OF SPILLWAY TO BE LINED WITH A 1-FOOT THICK OF 3/4 TO 1/2 INCH WASHED AGGREGATE. SEE DETAIL.
  - TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO RIPRAP APRON 5 FEET LONG (MINIMUM) WITH FILTER FABRIC FOUNDATION.
  - MINIMUM WIDTH OF TOP OF EMBANKMENT IS 5 FEET.
  - MAXIMUM HEIGHT OF EMBANKMENT IS 5 FEET FROM OUTER EMBANKMENT TOE TO TOP OF EMBANKMENT.
  - SEDIMENT TRAPS ARE LIMITED TO A MAXIMUM CONTRIBUTING DRAINAGE AREA OF 5 ACRES, AND A STRUCTURE LIFE OF 2 YEARS.

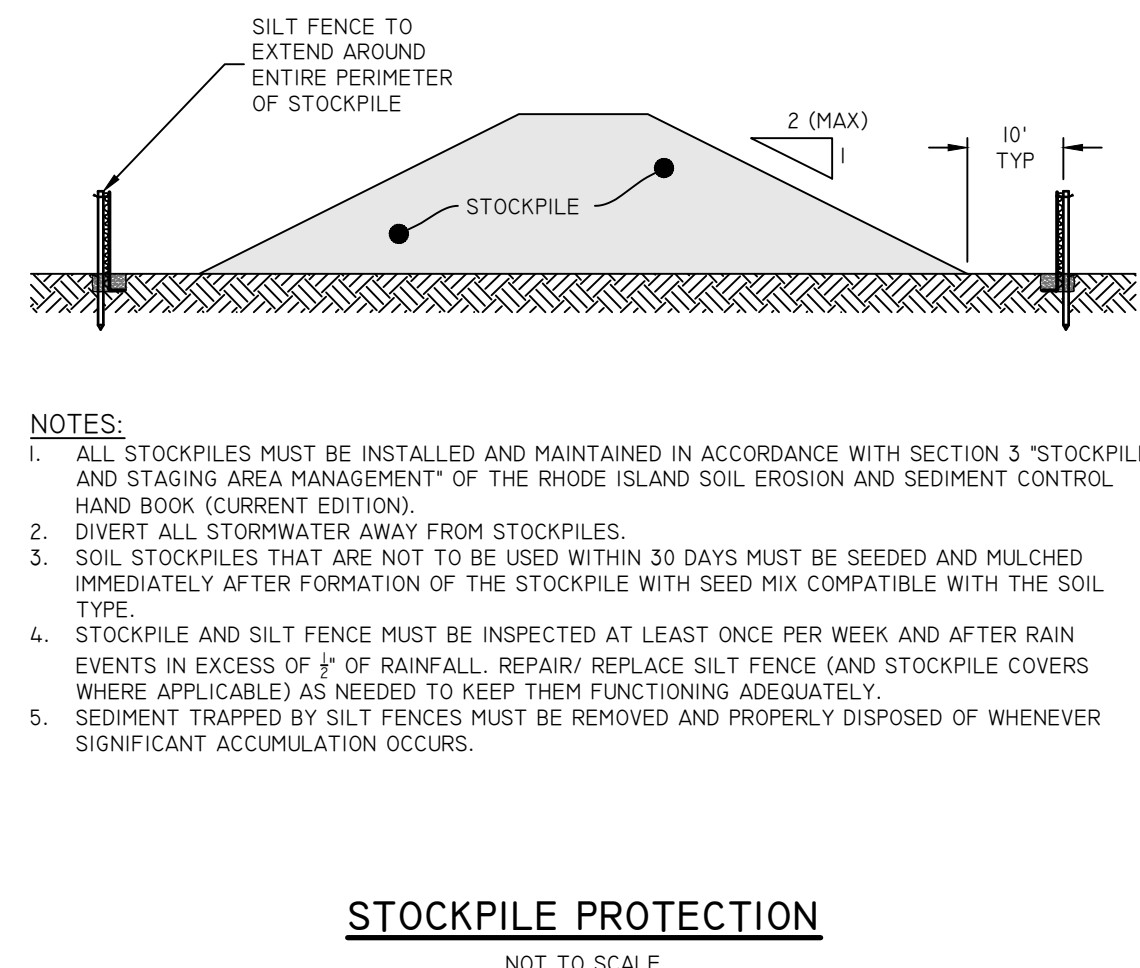
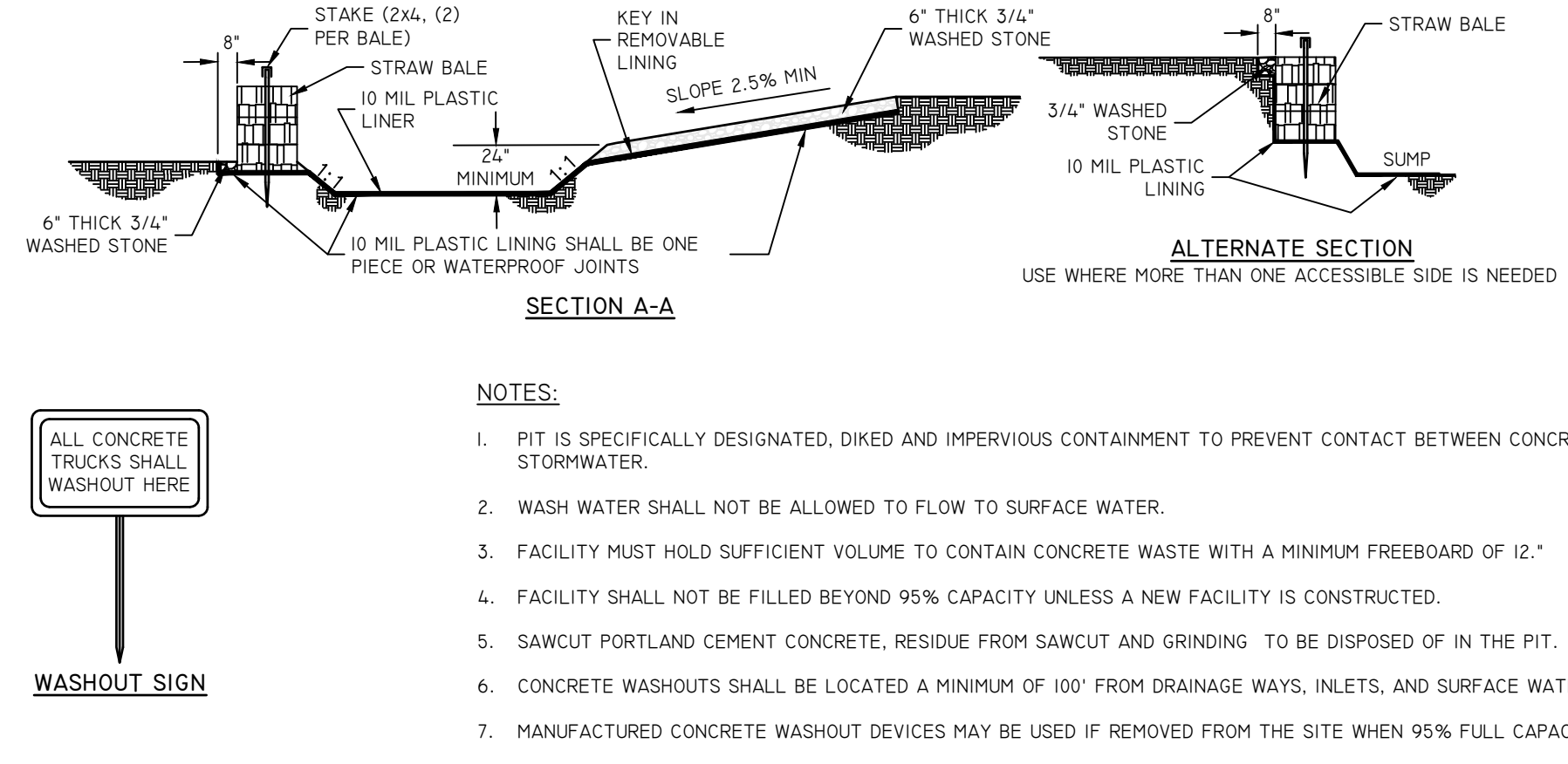
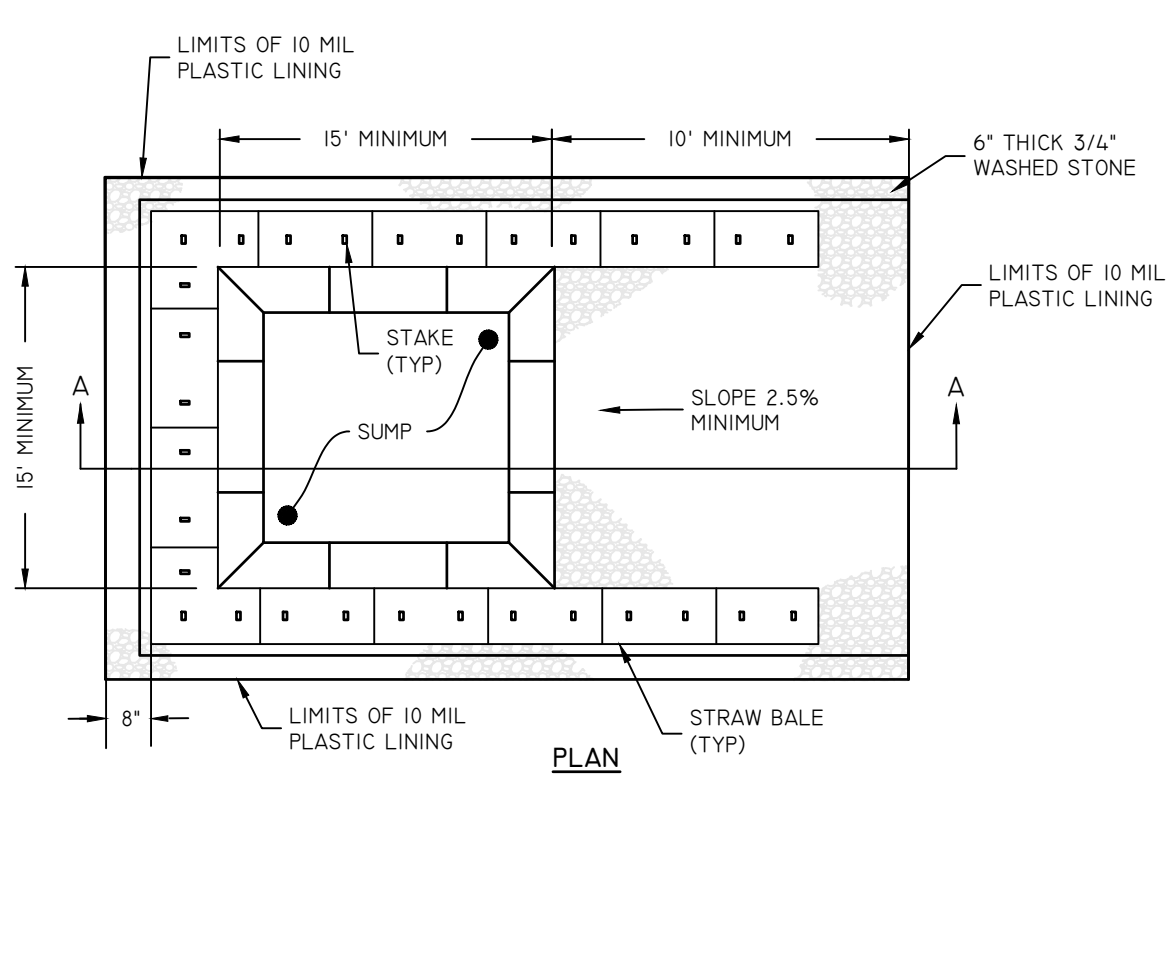
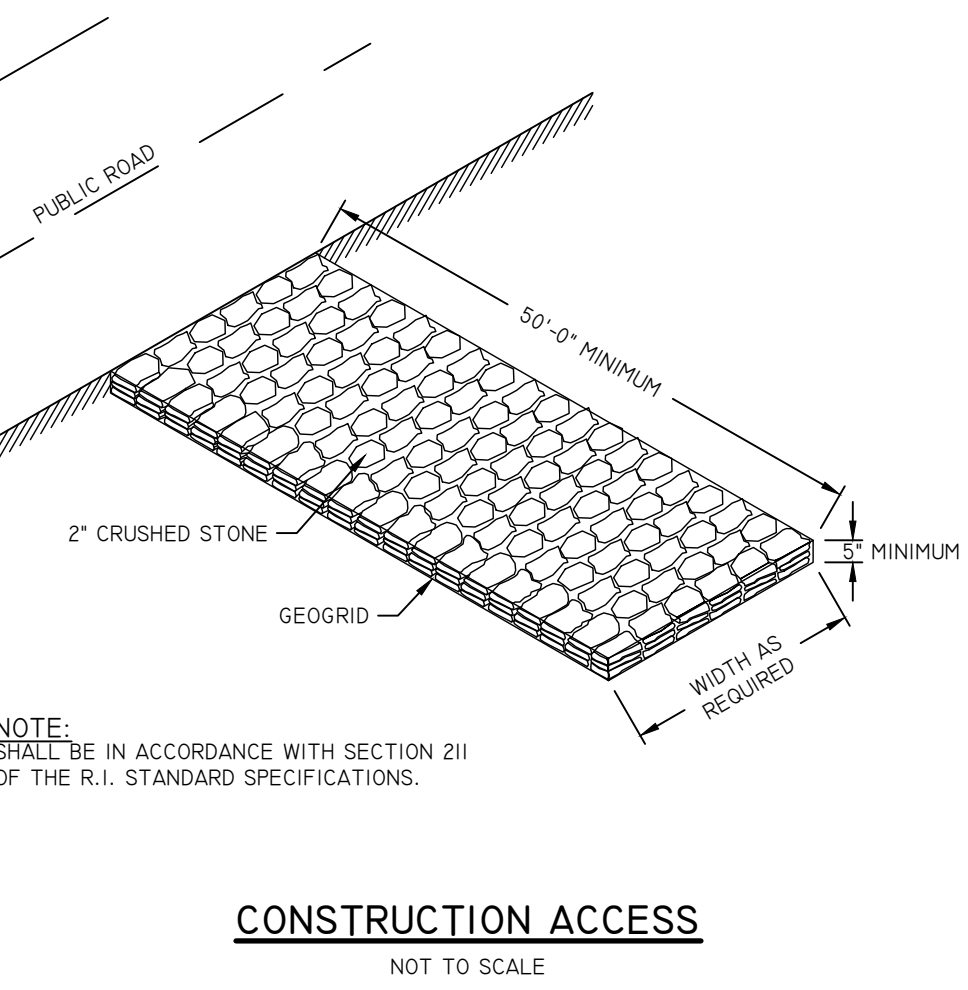
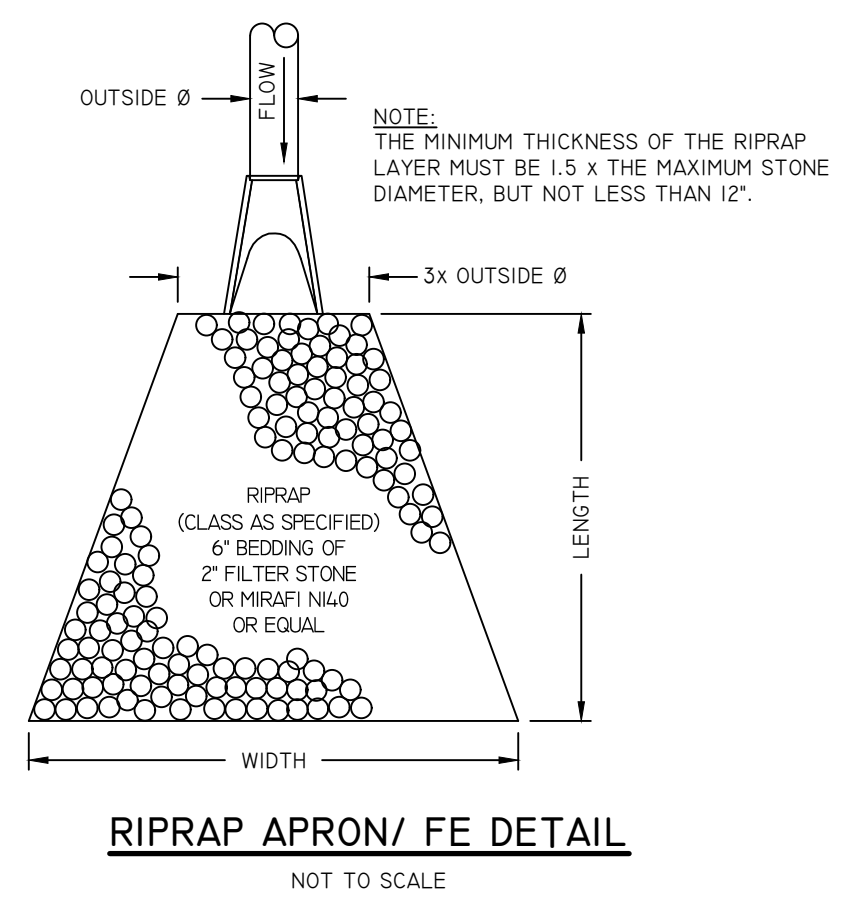
SEDIMENT TRAP DIMENSIONS	TRAP XX	TRAP XX	TRAP XX
TRIBUTARY DRAINAGE AREA	XX.XX AC	XX.XX AC	XX.XX AC
DESIGN DEPTH (D)	XX.XX FT	XX.XX FT	XX.XX FT
BOTTOM OF TRAP AREA (A8)	XXXX SQ.FT	XX.XX SQ.FT	XX.XX SQ.FT
SURFACE AREA AT SPILLWAY (A5)	XXXX SQ.FT	XX.XX SQ.FT	XX.XX SQ.FT

- INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:**
- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF DESIGN DEPTH. THIS WILL BE THE "CLEANOUT LEVEL". REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS. DEWATER IF NECESSARY.
  - DISPOSE OF THE SEDIMENT REMOVED FROM THE TRAP IN A SUITABLE AREA.
  - INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
  - CLEAN OR REPLACE SPILLWAY GRAVEL FACING IF CLOGGED. PROMPTLY REPLACE ANY DISPLACED RIPRAP, ENSURING THAT NO STONES IN SPILLWAY ARE ABOVE DESIGN GRADE.
  - INSPECT VEGETATION; RESEED AND REMULCH IF NECESSARY.
  - CHECK SPILLWAY DEPTH PERIODICALLY TO ENSURE MINIMUM OF 1.5 FEET DEPTH FROM LOWEST POINT OF THE SETTLED EMBANKMENT TO HIGHEST POINT OF SPILLWAY CREST. FILL ANY LOW AREAS OF THE EMBANKMENT TO MAINTAIN DESIGN ELEVATION.
  - AFTER ALL SEDIMENT-PRODUCING AREAS HAVE BEEN STABILIZED, INSPECTED AND APPROVED, REMOVE THE SEDIMENT TRAP AND ALL UNSTABLE SEDIMENT. RESTORE AREA TO DESIGN GRADE AND STABILIZE IN ACCORDANCE WITH LANDSCAPE PLAN/ COVER AS SHOWN ON APPLICABLE PLANS.

- INSTALLATION NOTES:**
- EMBANKMENT:**
- CLEAR, GRUB AND STRIP ALL VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA. USE STABLE MINERAL SOIL, FREE OF ROOTS, ROCKS, DEBRIS, ORGANIC MATERIAL AND OTHER OBJECTIONABLE MATERIAL.
  - PLACE EMBANKMENT FILL IN 9-INCH LIFTS, MAXIMUM. THE FILL SHOULD BE COMPACTED BY ROUTING THE CONSTRUCTION EQUIPMENT SO THAT THE ENTIRE AREA OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT. CONSTRUCT SIDE SLOPES 2:1 OR FLATTER (3:1 RECOMMENDED FOR BACKSLOPE TO IMPROVE STABILITY OF STONE SPILLWAY).
  - OVERFILL EMBANKMENT TO 6 INCHES ABOVE DESIGN ELEVATION TO ALLOW FOR SETTLEMENT.
- OUTLET SECTION:**
- EXCAVATE TRAPEZOIDAL STONE OUTLET SECTION FROM COMPACTED EMBANKMENT. ALLOW FOR THICKNESS OF STONE SIDE SLOPES (2 INCHES MINIMUM).
  - INSTALL FILTER FABRIC UNDER STONE. EXTEND FABRIC UP THE SIDES TO THE TOP OF EMBANKMENT. PLACE SPECIFIED STONE TO LINES AND GRADES SHOWN ON PLANS, WORKING THE SMALL STONES INTO THE VOIDS TO ACHIEVE A DENSE MASS. SPILLWAY CREST MUST BE LEVEL WITH MINIMUM DIMENSIONS SPECIFIED. MEASURE SPILLWAY DEPTH FROM THE HIGHEST STONES IN THE SPILLWAY TO THE DESIGN ELEVATION OF TOP OF EMBANKMENT. MINIMUM DEPTH IS 1.5 FEET.
  - KEEP SIDES OF THE STONE OUTLET SECTION AT LEAST 2 INCHES THICK THROUGH THE LEVEL SECTION AND THE DOWNSTREAM FACE OF EMBANKMENT.
  - EXTEND OUTLET APRON BEYOND TOE OF EMBANKMENT ON LEVEL GRADE UNTIL STABLE CONDITIONS ARE REACHED (5' MINIMUM). EDGES AND END OF THE STONE APRON SECTION MUST BE FLUSH WITH SURROUNDING GROUND. NO OVERFALL SHOULD EXIST.
  - COVER INSIDE OF FACE OF STONE OUTLET SECTION WITH A 1-FOOT THICK LAYER OF 1/2 TO 3/4 INCH AGGREGATE.
  - ALL EMBANKMENTS, EARTH SPILLWAYS, AND DISTURBED AREAS DOWNSTREAM FROM THE STRUCTURE SHOULD BE VEGETATED WITHIN 3 DAYS OF COMPLETION OF THE CONSTRUCTION OF THE STRUCTURE.

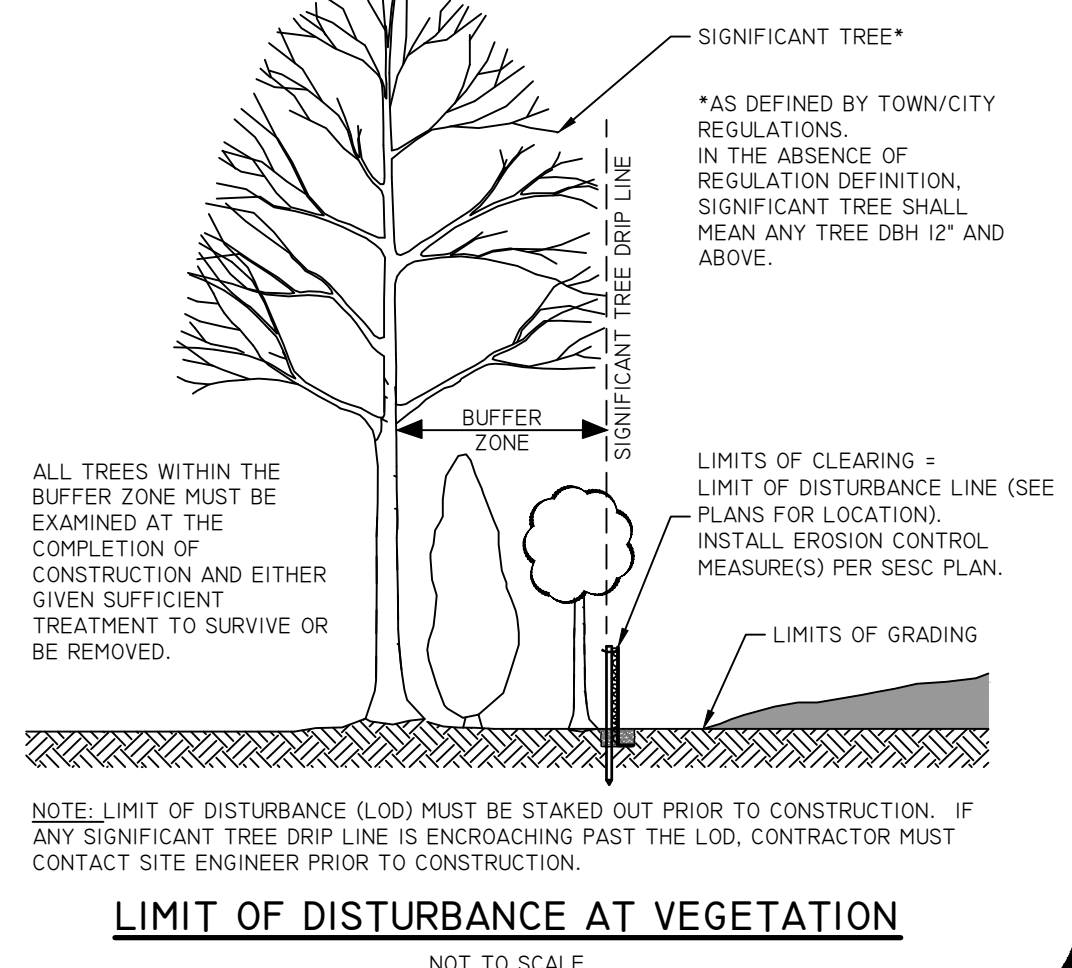


PART #	PIPE SIZE	A	B (MAX)	H	L	W
12INP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
15INP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
18INP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
24INP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
30INP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
36INP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)



- NOTES:**
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
  - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
  - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12" .
  - FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
  - SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
  - CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
  - MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

- NOTES:**
- ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
  - DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
  - SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
  - STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
  - SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.



**DiPrete Engineering**  
105 Eastern Avenue Suite 200 Dedham, MA 02026  
tel: 781-326-0021 fax: 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**

**COMMONWEALTH OF MASSACHUSETTS**  
**LEONARD R. BRADLEY, Jr.**  
No. 39089  
REGISTERED PROFESSIONAL ENGINEER

*Leonard Bradley, Jr.*

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED/ ISSUED FOR CONSTRUCTION AND STAMPED BY REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY EXISTING UTILITIES. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

10/28/2022

**DETAILS SHEET 1**  
**23 CAPE ROAD REDEVELOPMENT**  
PARCEL ID: 14-14-23  
MENDON, MASSACHUSETTS

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19382

DESIGN BY: B.A.W.  
DRAWN BY: B.A.W.

DATE: 10/28/2022  
SITE PLAN APPLICATION NO: 10-20-2022

DESIGN BY: B.A.W.

PREPARED FOR:  
**BLUEWATER INDUSTRIAL PARTNERS**  
100 FRONT STREET, SUITE 570  
WEST CONSHOHOCKEN, PENNSYLVANIA 19382

DATE: 10/28/2022  
SITE PLAN APPLICATION NO: 10-20-2022

DESIGN BY: B.A.W.

DRAWN BY: B.A.W.

SHEET 22 OF 25









**TABLE OF EXCEPTIONS**

THE FOLLOWING EXCEPTIONS MAY AFFECT THE SUBJECT PROPERTY AND ARE AS ITEMIZED IN SCHEDULE B, SECTION 2 OF FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO MAF21-4040 GD WITH AN EFFECTIVE DATE OF JUNE 29, 2021.

7. ORDER OF TAKING FOR HIGHWAY PURPOSES BY THE COMMONWEALTH OF MASSACHUSETTS DATED MAY 5, 1931 AND RECORDED IN BOOK 2542, PAGE 288. NOTE: ROADWAY WAS FORMERLY KNOWN AS BATES STREET AND IS NOW CAPE ROAD, AS THE SAME MAY BE APPLICABLE TO LOCUS.
8. RIGHTS, EASEMENTS AND RESERVATIONS AS SET FORTH AND AS REFERENCED IN DEED DATED FEBRUARY 8, 1974 AND RECORDED ON BOOK 5435, PAGE 149.
9. GRANT OF UTILITY EASEMENT TO MASSACHUSETTS ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY DATED MARCH 1, 1974 AND RECORDED IN BOOK 5475, PAGE 195.
10. RIGHTS AND EASEMENTS GRANTED FOR THE BENEFIT OF PARCEL A AS SET FORTH IN DEED RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 10113, PAGE 67 AND LATER DEED DATED FEBRUARY 8, 1999 AND RECORDED IN BOOK 21038, PAGE 1 AND SHOWN AS PLAN IN PLAN BOOK 393, PLAN 96, INsofar AS THE SAME MAY NOW BE IN FORCE AND EFFECT. NOTE: PARCELS A AND B ARE IN COMMON OWNERSHIP.
11. RIGHTS OF ALL THOSE PERSONS LAWFULLY ENTITLED THERETO TO USE THE STREETS, WAYS, RIGHTS OF WAY AND PROPOSED ROADS; AND SUBJECT TO RESTRICTIVE COVENANTS, CONDITIONS, AGREEMENTS, BUILDING LINES AND EASEMENTS, IF ANY, AS SHOWN AND/OR REFERENCED ON PLANS RECORDED IN PLAN BOOK 382, PLAN 97; PLAN BOOK 391, PLAN 85; PLAN BOOK 393, PLAN 96; PLAN BOOK 395, PLAN 5; AND PLAN BOOK 395, PLAN 6.
12. RIGHTS OF ALL THOSE PERSONS LAWFULLY ENTITLED THERETO IN AND TO THE WATERS OF MILL BROOK, ALSO KNOWN AS MILL PLAIN BROOK, AND IN AND TO THE WATERS LEADING THERETO AND THEREFROM INCLUDING FLOWAGE, RIPARIAN AND DAM RIGHTS.
13. ORDER OF CONDITIONS BY THE MENDON CONSERVATION COMMISSION CONCERNING FILE NO. 218-33 DATED SEPTEMBER 4, 1980 AND RECORDED IN BOOK 7125, PAGE 89, AS AFFECTED BY CERTIFICATE OF COMPLIANCE DATED JULY 30, 1990 AND RECORDED IN BOOK 12925, PAGE 362.
14. 45' EASEMENT FOR DRAINAGE AND UTILITY PURPOSES AS DESCRIBED IN DEED RECORDED IN BOOK 10113, PAGE 67, AND SHOWN ON PLAN IN PLAN BOOK 395, PLAN 5.
15. UTILITY EASEMENT TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AND MASSACHUSETTS ELECTRIC COMPANY DATED MAY 20, 1999 AND RECORDED IN BOOK 24183, PAGE 133.
16. ORDER OF CONDITIONS BY THE MENDON CONSERVATION COMMISSION CONCERNING DEP FILE NO. 218-0566 DATED FEBRUARY 2, 2004 AND RECORDED IN BOOK 32830, PAGE 137, AS AFFECTED BY EXTENSION PERMIT DATED DECEMBER 7, 2004 AND RECORDED IN BOOK 40556, PAGE 78, AS FURTHER AFFECTED BY CONFIRMATORY EXTENSION PERMIT DATED DECEMBER 7, 2004 AND RECORDED IN BOOK 41397, PAGE 209, AND AS FURTHER AFFECTED BY EXTENSION PERMIT DATED DECEMBER 22, 2009 AND RECORDED IN BOOK 45296, PAGE 223.
17. DECISION ON COMPREHENSIVE PERMIT BY THE ZONING BOARD OF APPEALS OF THE TOWN OF MENDON RECORDED ON BOOK 39104, PAGE 142, AS AFFECTED BY EXTENSION OF TERM OF DECISION ON COMPREHENSIVE PERMIT RECORDED IN BOOK 39325, PAGE 129, AS FURTHER AFFECTED BY EXTENSION OF TERM OF DECISION ON COMPREHENSIVE PERMIT RECORDED IN BOOK 44984, PAGE 129.
18. TERMS AND PROVISIONS OF COVENANT WITH THE PLANNING BOARD OF THE TOWN OF MENDON DATED FEBRUARY 19, 1974 AND RECORDED IN BOOK 5455, PAGE 228, IF STILL IN FORCE OR EFFECT, AS AFFECTED BY FORM E. CERTIFICATE OF PERFORMANCE (COVENANT APPROVAL RELEASE DATED NOVEMBER 15, 1977 AND RECORDED IN BOOK 6438, PAGE 314.

BULK STANDARDS AND ZONING TABLE	
TOWN OF MENDON	
ZONING CLASSIFICATION:	HB - HIGHWAY BUSINESS
ITEM	REQUIRED
<b>BULK REQUIREMENTS</b>	
MINIMUM LOT AREA	40,000 SF
MINIMUM LOT WIDTH	200 FT
MINIMUM LOT DEPTH	200 FT
MAXIMUM BUILDING COVERAGE	30%
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES
MAXIMUM BUILDING HEIGHT	35 FT
<b>YARD REQUIREMENTS</b>	
MINIMUM FRONT YARD	50 FT
MINIMUM SIDE YARD (ONE SIDE)	20 FT
MINIMUM SIDE YARD (BOTH SIDES)	40 FT
MINIMUM REAR YARD	20 FT
MIN LANDSCAPE SETBACK (ALL SIDES)	15 FT

NOTE: INFORMATION IN THIS TABLE WAS PROVIDED BY THE BLUEWATER PROPERTY GROUP.

TO: FIRST AMERICAN TITLE INSURANCE COMPANY; BLUEWATER PROPERTY GROUP, LENDER;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,3,4,6(B),7(A),7(B)(1),7(C),8,9,11(A),13,16,17,18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN OCTOBER 5-25, 2021.

DATE OF MAP:

*James E. Peterson*  
REGISTERED PROFESSIONAL LAND SURVEYOR  
FOR ALPHA SURVEY GROUP, LLC, LIC. #34624

3/14/2022  
DATE

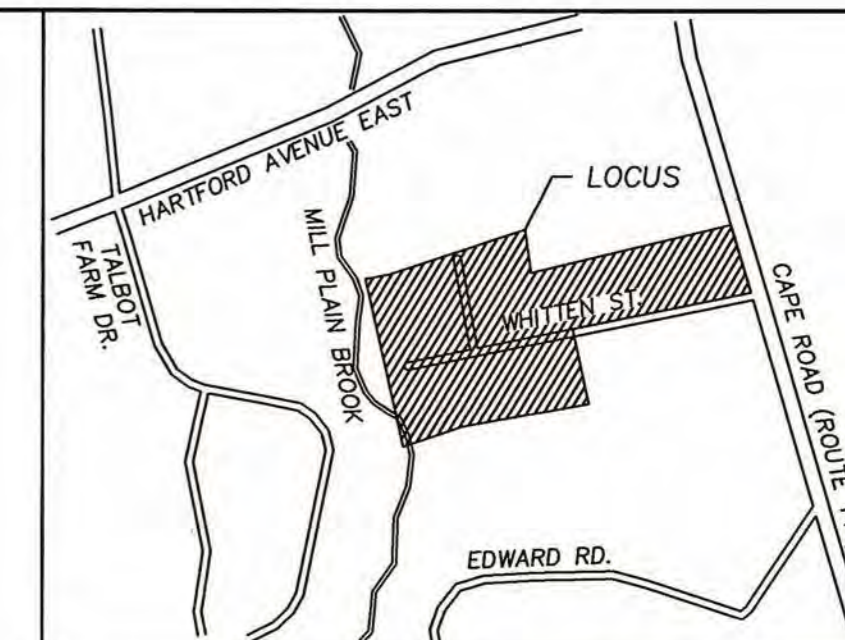


# ALTAINSPS LAND TITLE, EXISTING CONDITIONS, TOPOGRAPHIC, UTILITY, AND WETLAND RESOURCE LOCATION SURVEY 23 CAPE RD., MENDON, MA



**UTILITY NOTE:**

ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACK FILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. ALPHA SURVEY GROUP, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED. CALL "DIG SAFE" AT 811.



LOCUS MAP - NOT TO SCALE

**NOTES**

1. THE INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED BETWEEN OCTOBER 5-25, 2021 BY ALPHA SURVEY GROUP, LLC.
2. THE BASIS OF BEARINGS, AZIMUTHS, AND THE NORTH ARROW SHOWN HEREON IS BASED ON PLAN REFERENCE 1.
3. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
4. THIS PLAN AND SURVEY WERE PREPARED USING GNSS AND CONVENTIONAL SURVEY METHODS. A LEICA TS16 TOTAL STATION WAS USED HAVING AN ACCURACY OF 5" AND 1MM + 1.5 PPM. A TRIMBLE R10 NETWORK RTK WAS USED HAVING SUBCENTIMETER ACCURACY.
5. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR WORCHESTER COUNTY (MAP # 25027C1032E, EFFECTIVE DATE JULY 4, 2011), THE PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.

**OWNER OF RECORD**

GOLD MEDALIST, LLC.  
234 WEST STREET  
MILFORD, MA 01757

**LOCUS PARCEL**

23 CAPE ROAD  
MENDON, MASSACHUSETTS 01756  
PID: 14-114-23  
DEED BOOK 51513, PAGE 349  
PLAN BOOK 493, PLAN 96  
AREA: 913,240.84 S.F.  
20.97 ACRES

**REFERENCE PLANS**

1. "PLAN OF LAND IN MENDON, MA" DATED: FEBRUARY 1, 1974, PREPARED BY GUERRIERE & HALNON, INC., PLAN BOOK 393 PAGE 96.
2. "PLAN OF LAND 21 CAPE ROAD (ROUTE 140) AND WHITTEN STREET, MENDON, MA" DATED: DECEMBER 4, 2020, PREPARED BY GUERRIERE & HALNON, INC., PLAN BOOK 954 PAGE 58.
3. "WHITTEN INDUSTRIAL PARK, SUBDIVISION PLAN OF LAND IN MENDON, MA" DATED: JANUARY 28, 1974 BY GUERRIERE & HALNON INC., PLAN BOOK 395, PAGE 5.
4. "WHITTEN INDUSTRIAL PARK, PLAN AND PROFILE OF WHITTEN STREET, IN MENDON, MA" DATED: JANUARY 28, 1974 BY GUERRIERE & HALNON INC., PLAN BOOK 395, PAGE 6, SH. 1&2.
5. "APPROVAL NOT REQUIRED PLAN OF LAND, NEW ENGLAND F.C OWNER, 36 CAPE ROAD, MENDON, MA" DATED: JANUARY 20, 2015 BY MADDIGAN LAND SURVEYING, LLC., PLAN BOOK 918, PAGE 47.
6. "PLAN OF LAND IN MENDON, MASS. PROPERTY OF MORRIS ROSENFIELD TO BE CONVEYED TO CITES SERVICE OIL COMPANY", DATED: NOVEMBER 13, 1970 BY SCHOFIELD BROTHERS INC., PLAN BOOK 342, PAGE 111.
7. "PLAN OF LAND IN MENDON, MASS. PROPERTY OF ROCKWELL INTERNATIONAL", DATED: FEBRUARY 5, 1979 BY GUERRIERE & HALNON INC., PLAN BOOK 466, PAGE 61.
8. "PLAN OF LAND 35 CAPE ROAD MENDON, MA FOR MYLA THAYER", DATED: MARCH 16, 2009 BY HS&T GROUP, INC., PLAN BOOK 874 PAGE 20.
9. "PLAN OF LAND IN MENDON, MASS. PROPERTY OF JEAN H. BOYER", DATED: MAY 22, 1990 BY GUERRIERE & HALNON INC., PLAN BOOK 657, PAGE 101.
10. "PLAN OF LAND IN MENDON, MASS. PROPERTY OF ABRAM ROSENFIELD", DATED: JANUARY 20, 1988 BY GUERRIERE & HALNON INC., PLAN BOOK 607, PAGE 89.
11. "PLAN OF LAND IN MENDON, MASS. PROPERTY OF THE ROSENFIELD COMPANY INC.", DATED AUGUST 22, 1996 BY GUERRIERE & HALNON INC., PLAN BOOK 707, PAGE 31.
12. "THE COMMONWEALTH OF MASSACHUSETTS, PLAN OF ROAD IN THE TOWN OF MENDON, WORCHESTER COUNTY" LAYOUT 2769, DATED MAY 5, 1931.

**DESCRIPTION: (PER TITLE COMMITMENT)**

ALL THAT CERTAIN LOT OR PARCEL OF LAND SITUATE IN THE MENDON, COUNTY OF WORCHESTER, COMMONWEALTH OF MASSACHUSETTS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL B (21-23 CAPE ROAD):

THE LAND KNOWN AND NUMBERED 21-23 CAPE RD. (RTE. 140), MENDON, MA TOGETHER WITH BUILDINGS AND OTHER IMPROVEMENTS THEREON AND FURTHER DESCRIBED AS FOLLOWS:

THAT CERTAIN PARCEL OF LAND SITUATED ON THE SOUTHWESTERLY SIDE OF CAPE ROAD (ROUTE 140) IN MENDON, WORCHESTER COUNTY, MASSACHUSETTS, WHICH SAID PARCEL IS SHOWN AS PARCEL "B" ON A PLAN OF LAND DATED FEBRUARY 1, 1974 AND ENTITLED "PLAN OF LAND IN MENDON, MASS. PROPERTY OF: JOSEPH ROSENFIELD" WHICH SAID PLAN IS RECORDED WITH THE WORCHESTER COUNTY (WORCHESTER DISTRICT) REGISTRY OF DEEDS IN PLAN BOOK 393, PLAN 96 AND TO WHICH PLAN REFERENCE MAY BE MADE FOR A MORE PARTICULAR DESCRIPTION OF SAID PARCEL "B":

SAID PARCEL "B" CONTAINS A TOTAL AREA OF 22.67 ACRES, MORE OR LESS, ACCORDING TO SAID PLAN, OF WHICH AN AREA OF 0.90 ACRES, MORE OR LESS, IS SHOWN AS "RESERVED RIGHT OF WAY" ON SAID PLAN.

SAID PARCEL "B" IS SUBJECT TO THE RIGHT TO USE SAID RESERVED RIGHT OF WAY APPURTENANT TO PARCEL "A" AS SET FORTH AND DESCRIBED IN DEED RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 10113, PAGE 67.

SAID LAND IS MORTGAGED TOGETHER WITH A FORTY-FIVE (45) FOOT EASEMENT APPURTENANT TO THE ABOVE-DESCRIBED PREMISES FOR DRAINAGE AND UTILITY PURPOSES, AS DESCRIBED IN DEED RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 10113, PAGE 67, AND BOUNDED AND DESCRIBED THEREIN AS FOLLOWS:

BEGINNING AT A DRILL HOLE IN A STONE WALL SHOWN ON SAID PLAN RECORDED WITH THE WORCHESTER DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 393, PLAN 96 AT THE SOUTHWESTERLY CORNER OF THE ABOVE-DESCRIBED PREMISES AT LAND OF SAID THAYER AND OTHER LAND FORMERLY OF JOSEPH ROSENFIELD; THENCE

N 11° 45' 12" W A DISTANCE OF 348.83 FEET ALONG THE WESTERLY BOUNDARY OF THE ABOVE DESCRIBED LAND TO THE TRUE POINT OF BEGINNING OF SAID EASEMENT AT THE SOUTHWESTERLY TERMINUS OF A PROPOSED WAY SHOWN AS WHITTEN STREET ON A PLAN OF LAND RECORDED WITH SAID REGISTRY OF DEEDS IN PLAN BOOK 392, PLAN 5; THENCE

S 78° 37' 50" W A DISTANCE OF 103 FEET, MORE OR LESS, ALONG THE EXTENSION OF THE SOUTHERLY SIDELINE OF SAID PROPOSED WAY AND CROSSING SAID LAND FORMERLY OF JOSEPH ROSENFIELD TO MILL PLAIN BROOK; THENCE

NORTHWESTERLY ABOUT 56 FEET ALONG SAID BROOK TO OTHER LAND FORMERLY OF JOSEPH ROSENFIELD TO THE EXTENSION OF THE NORTHERLY SIDELINE OF SAID PROPOSED WAY; THENCE

N 78° 37' 50" W A DISTANCE OF 133 FEET, MORE OR LESS, ALONG SAID EXTENSION OF THE NORTHERLY SIDELINE OF SAID PROPOSED WAY TO THE SAID WESTERLY BOUNDARY OF THE ABOVE-DESCRIBED LAND AT THE NORTHWESTERLY TERMINUS OF SAID WAY; THENCE

S 11° 45' 12" E A DISTANCE OF 45 FEET ALONG THE WESTERLY TERMINUS OF SAID WAY AND THE SAID WESTERLY BOUNDARY OF SAID ABOVE-DESCRIBED LAND TO THE SAID TRUE POINT OF BEGINNING.

**SHEET INDEX:**

- COVER - SITE MAP, TABLE OF EXCEPTIONS, PLAN NOTES, REFERENCE PLANS, AND CERTIFICATION
- SHEET 2 - PROPERTY AND LEASE AREA BOUNDARIES AND SITE FEATURES
- SHEET 3 - EXISTING CONDITIONS SURVEY
- SHEET 4 - EXISTING CONDITIONS SURVEY



N/F  
BARRY SANDRA L TRUSTEE  
117 HARTFORD AVE  
EAST MENDON, MA  
ASSESS. MAP 13  
PARCEL ID: 13-140-117  
DEED BK 22024  
PAGE 267

N/F  
ARONS PHILLIP M & PAMELA A  
12 TALBOTT FARM DR.  
MENDON, MA  
ASSESS. MAP 13  
PARCEL ID: 13-224-12  
DEED BK 18245  
PAGE 249

N/F  
MANELLA MATTHEW  
14 TALBOTT FARM DR.  
MENDON, MA  
ASSESS. MAP 13  
PARCEL ID: 13-224-14  
DEED BK 19975  
PAGE 231

N/F  
VARNEY BROS SAND & GRAVEL  
125 HARTFORD AVE EAST  
BELLINGHAM, MA  
ASSESS. MAP 13  
PARCEL ID: 13-140-125  
DEED BK 06960/PAGE 0342

N/F  
GOLD MEDALIST LLC  
23 CAPE ROAD (OFF)  
MILFORD, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-23  
DEED BK 51513/PAGE 349

"PARCEL B"  
(PB 393 P96)  
AREA=22.67± Ac.

N/F  
BETHANY ASSEMBLY OF GOD INC  
15 CAPE ROAD  
MENDON, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-15  
DEED BK 14136/PAGE 00120

LOT 1A  
(PB945 P58)  
N/F  
GOLD MEDALIST LLC  
21 CAPE ROAD  
MILFORD, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-21  
DEED BK 51513/PAGE 349

"PARCEL A"  
(LOT 14)  
AREA=6.59± Ac.

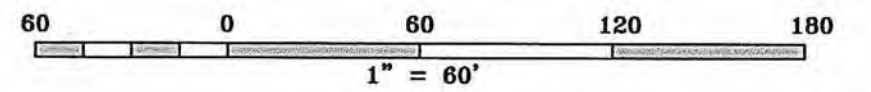
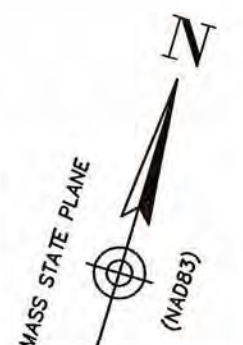
N/F  
GOLD MEDALIST LLC  
25 CAPE ROAD  
MILFORD, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-25  
DEED BK 50591/PAGE 57

N/F  
NEW ENGLAND FUTBOL CLUB INC  
33 CAPE ROAD MENDON, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-33  
DEED BK 54840/PAGE 257

**DRAWING LEGEND**

- WATER GATE
- FIRE HYDRANT
- UTILITY POLE
- GUY WIRE ANCHOR
- DRAIN MANHOLE
- CATCH BASIN
- WETLAND FLAG
- DRAIN LINE
- WATER LINE
- OVERHEAD ELECTRIC
- STONE WALL
- CHAIN LINK FENCE
- TREELINE
- WETLAND
- CONCRETE
- BITUMINOUS
- FOUND (FND)
- DRILL HOLE
- IRON ROD
- MAG NAIL
- BENCHMARK
- TRAVERSE (CONTROL) POINT
- SIGN

Line #	Length	Direction
L1	29.39	N08° 12' 04"W
L2	21.37	N80° 34' 38"E
L3	21.37	N73° 18' 36"E
L4	57.20	N79° 04' 05"E



DATE	REVISION
11/17/2021	UPDATED LOT CONFIGURATION
12/23/21	REVISE SELECT WETLAND FLAG LOCATIONS, ADD DETAILS & TOPOGRAPHY ON LOT 1A & "PARCEL A"
03/14/22	ADDED "D" SERIES WETLAND FLAGS

PREPARED FOR:  
WARE MALCOLM  
45 WEST 21ST STREET  
NEW YORK, NY 10010

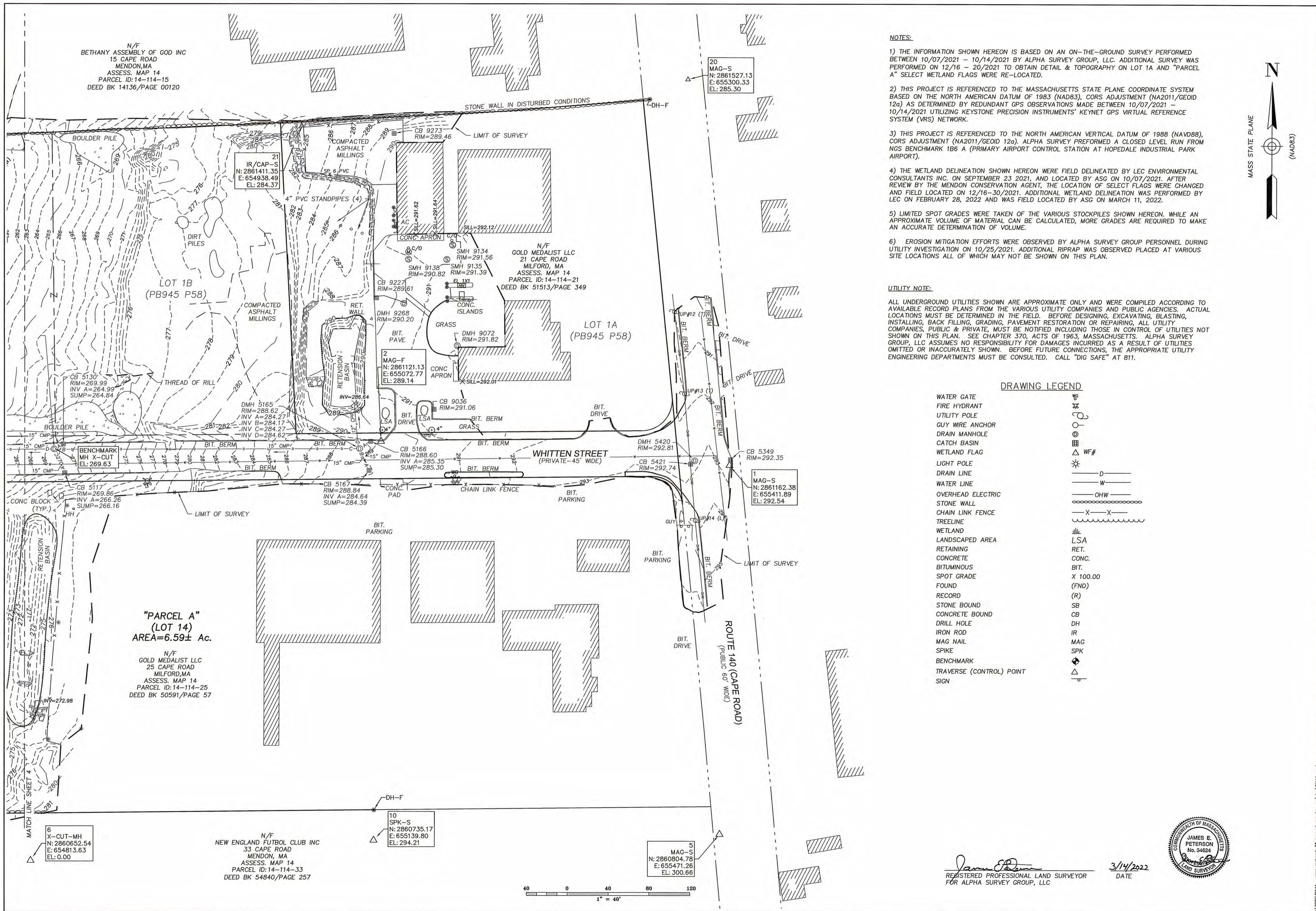
ALTANSPS LAND TITLE, EXISTING CONDITIONS,  
TOPOGRAPHIC, UTILITY, AND WETLAND  
RESOURCE LOCATION SURVEY  
23 CAPE ROAD  
MENDON, MASSACHUSETTS 01756

PREPARED BY  
ALPHA SURVEY GROUP, LLC  
685 WAREHAM STREET  
MIDDLEBOROUGH, MA 02346  
T: (508) 295-5605  
F: (508) 295-5635  
WWW.ALPHASURVEY.COM



*James E. Peterson*  
REGISTERED PROFESSIONAL LAND SURVEYOR  
FOR ALPHA SURVEY GROUP, LLC, LIC. #34624  
DATE: 3/14/2022

DATE	11/18/2021
SHEET NO.	21144
SHEET NO.	2 of 4
DWG. NO.	21144-ALTA

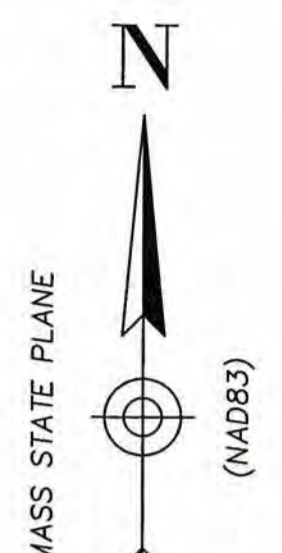


**NOTES:**

- 1) THE INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED BETWEEN 10/07/2021 - 10/14/2021 BY ALPHA SURVEY GROUP, LLC. ADDITIONAL SURVEY WAS PERFORMED ON 12/16 - 20/2021 TO OBTAIN DETAIL & TOPOGRAPHY ON LOT 1A AND "PARCEL A" SELECT WETLAND FLAGS WERE RE-LOCATED.
- 2) THIS PROJECT IS REFERENCED TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), CORS ADJUSTMENT (NA2011/GEOD 12a) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS MADE BETWEEN 10/07/2021 - 10/14/2021 UTILIZING KEYSTONE PRECISION INSTRUMENTS' KEYNET GPS VIRTUAL REFERENCE SYSTEM (VRS) NETWORK.
- 3) THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), CORS ADJUSTMENT (NA2011/GEOD 12a). ALPHA SURVEY PERFORMED A CLOSED LEVEL RUN FROM NGS BENCHMARK 1B6 A (PRIMARY AIRPORT CONTROL STATION AT HOPEDALE INDUSTRIAL PARK AIRPORT).
- 4) THE WETLAND DELINEATION SHOWN HEREON WERE FIELD DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS INC. ON SEPTEMBER 23 2021, AND LOCATED BY ASG ON 10/07/2021. AFTER REVIEW BY THE MENDON CONSERVATION AGENT, THE LOCATION OF SELECT FLAGS WERE CHANGED AND FIELD LOCATED ON 12/16-30/2021. ADDITIONAL WETLAND DELINEATION WAS PERFORMED BY LEC ON FEBRUARY 28, 2022 AND WAS FIELD LOCATED BY ASG ON MARCH 11, 2022.
- 5) LIMITED SPOT GRADES WERE TAKEN OF THE VARIOUS STOCKPILES SHOWN HEREON. WHILE AN APPROXIMATE VOLUME OF MATERIAL CAN BE CALCULATED, MORE GRADES ARE REQUIRED TO MAKE AN ACCURATE DETERMINATION OF VOLUME.
- 6) EROSION MITIGATION EFFORTS WERE OBSERVED BY ALPHA SURVEY GROUP PERSONNEL DURING UTILITY INVESTIGATION ON 10/25/2021. ADDITIONAL RIPRAP WAS OBSERVED PLACED AT VARIOUS SITE LOCATIONS ALL OF WHICH MAY NOT BE SHOWN ON THIS PLAN.

**UTILITY NOTE:**

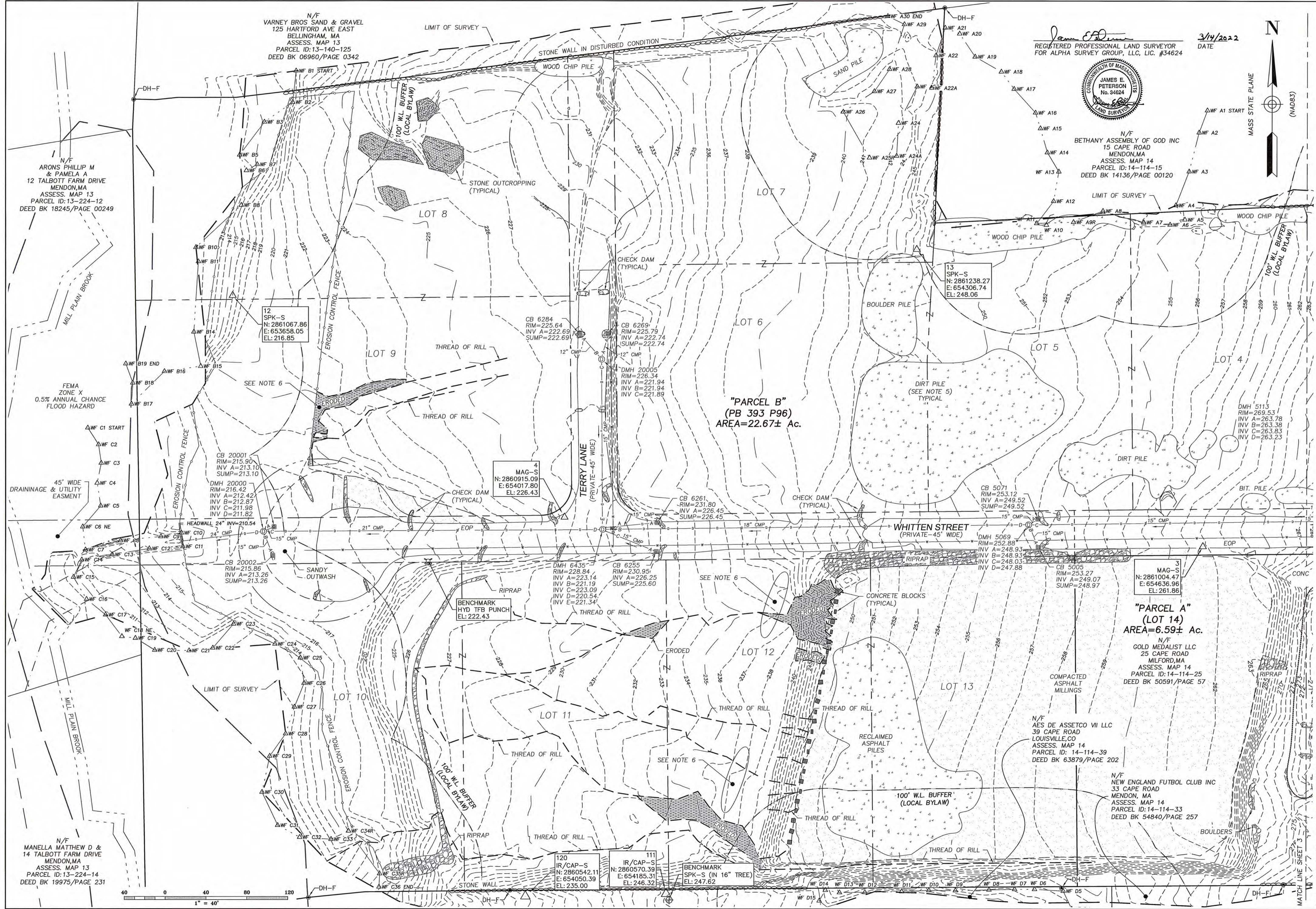
ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACK FILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. ALPHA SURVEY GROUP, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED. CALL "DIG SAFE" AT 811.



DATE	12/21/2021	CHECKED	JEP
JOB NO.	21144	FIELD	JEP
SHEET NO.	3 of 4	SCALE	1" = 20'
DWG. NO.	21144-EC	PREPARED BY ALPHA SURVEY GROUP, LLC 685 WAREHAM STREET MIDDLEBOROUGH, MA 02346 T: (508) 285-5505 F: (508) 285-5535 WWW.ALPHASURVEYGROUP.COM	
ALTANSPS LAND TITLE, EXISTING CONDITIONS, TOPOGRAPHIC, UTILITY, AND WETLAND RESOURCE LOCATION SURVEY 23 CAPE ROAD MENDON, MASSACHUSETTS 01756			
WARE MALCOLM 45 WEST 21ST STREET NEW YORK, NY 10010			



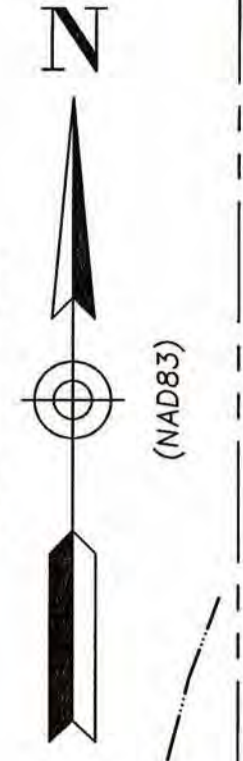
*James E. Peterson*  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 FOR ALPHA SURVEY GROUP, LLC  
 3/14/2022  
 DATE



3/14/2022  
DATE



BETHANY ASSEMBLY OF GOD INC  
15 CAPE ROAD  
MENDON, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-15  
DEED BK 14136/PAGE 00120



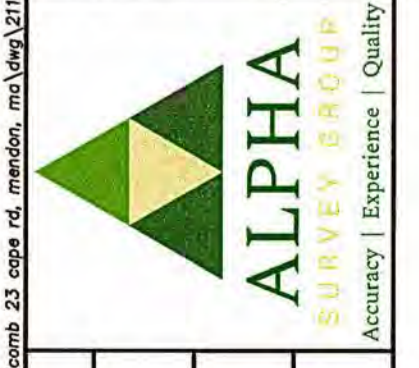
DATE	REVISION
11/18/21	UPDATED LOT LINE CONFIGURATION
12/23/21	REVISE SELECT WETLAND FLAG LOCATIONS, ADD DETAILS & TOPOGRAPHY ON LOT 1A & "PARCEL A"
03/14/22	ADDED "D" SERIES WETLAND FLAGS

WARE MALCOMB  
45 WEST 21ST STREET  
NEW YORK, NY 10010

**ALTANSPS LAND TITLE, EXISTING CONDITIONS,  
TOPOGRAPHIC, UTILITY, AND WETLAND  
RESOURCE LOCATION SURVEY**  
23 CAPE ROAD  
MENDON, MASSACHUSETTS 01756

"PARCEL A"  
(LOT 14)  
AREA=6.59± Ac.

N/F  
GOLD MEDALIST LLC  
25 CAPE ROAD  
MILFORD, MA  
ASSESS. MAP 14  
PARCEL ID: 14-114-25  
DEED BK 50591/PAGE 57



PREPARED BY  
ALPHA SURVEY GROUP, LLC  
688 WAREHAM STREET  
MIDDLEBOROUGH, MA 02346  
T: (508) 296-5505  
F: (508) 296-5535  
WWW.ALPHAS.COM

DATE	12/21/2021
JOB NO.	21144
SHEET NO.	4 of 4
DWG. NO.	21144-EC

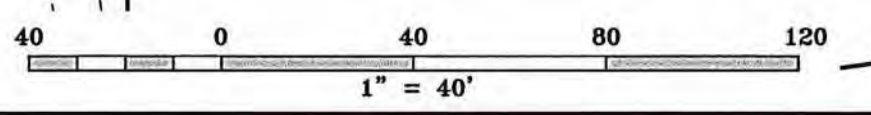
N/F  
VARNEY BROS SAND & GRAVEL  
125 HARTFORD AVE EAST  
BELLINGHAM, MA  
ASSESS. MAP 13  
PARCEL ID: 13-140-125  
DEED BK 06960/PAGE 0342

N/F  
ARONS PHILLIP M & PAMELA A  
12 TALBOTT FARM DRIVE  
MENDON, MA  
ASSESS. MAP 13  
PARCEL ID: 13-224-12  
DEED BK 18245/PAGE 00249

FEMA  
ZONE X  
0.5% ANNUAL CHANCE  
FLOOD HAZARD

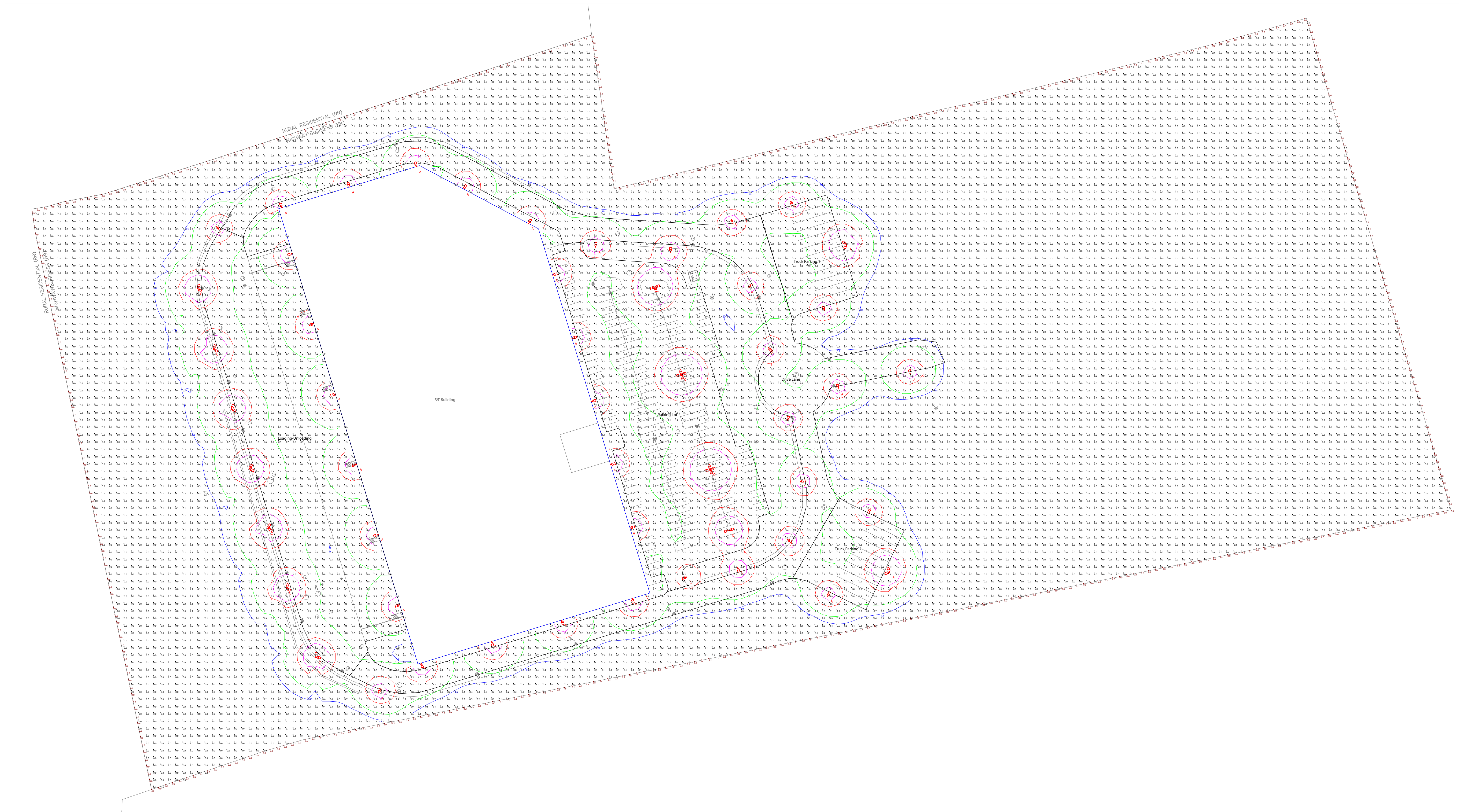
45' WIDE  
& UTILITY  
EASMENT

N/F  
MANELLA MATTHEW D &  
14 TALBOTT FARM DRIVE  
MENDON, MA  
ASSESS. MAP 13  
PARCEL ID: 13-224-14  
DEED BK 19975/PAGE 231



12/21/2021

13-224-14-14 - www.alpha-survey.com



Scale: 1 inch= 70 Ft.

The Lighting Analysis, EIR, and other data provided herein are based on the information provided by the client. RAB Lighting, Inc. ("RAB") represents an anticipated prediction of lighting system performance based on design parameters and information supplied by others. These design parameters and information provided by others have not been verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB does not warrant, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB does not warrant, either implied or stated, that the lighting system will meet the requirements of any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued in whole or in part, and should not be relied upon for any purpose, other than intended for construction of a part of a project's construction requirements. Immediately upon the order of RAB products used in the Lighting Design, the ordering party must verify that the lumens output of the fixtures being ordered (as shown on RAB's website) match the lumens output shown in the Lighting Design. Occasionally, Lighting Design previously provided use fixtures that are then replaced with different fixtures. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

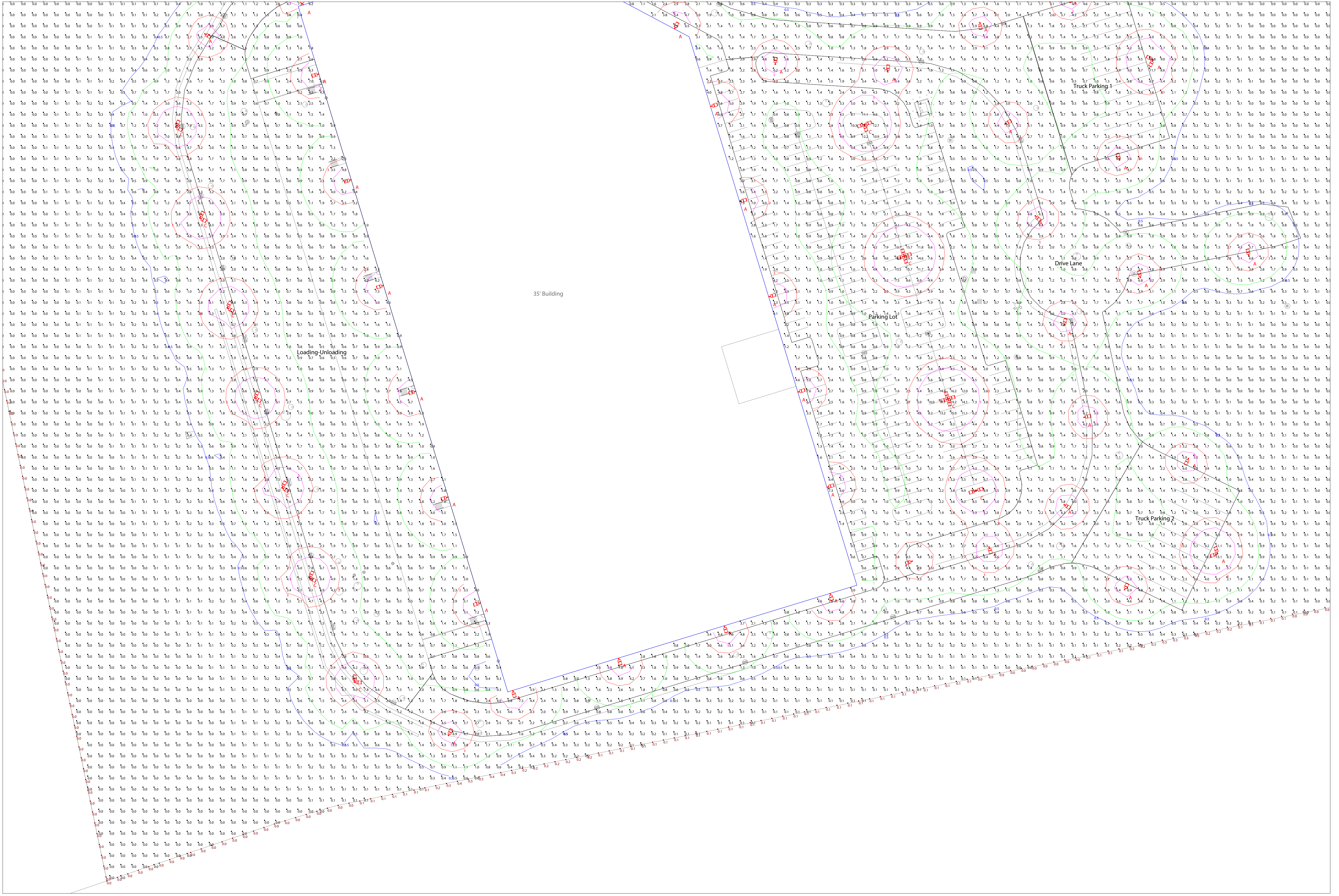
Scale: as noted	PROJECT # 200033
Date: 9/30/2022	CASE # 00944714
Filename: Cape Rd Mendon Warehouse 00944714A.AGI	
Drawn By: K. Sullivan, LC	

Job Name:  
Cape Rd Mendon Warehouse  
Mendon, MA  
Lighting Layout  
Version A

Prepared For:  
Holbrook Associated  
35 Reservoir Park Drive  
Rockland, MA 02370  
Tel: 781-871-0011

**RAB**  
408 W 14th Street, New York, NY 10014  
888.722.1000 • rablighting.com





Scale: 1 inch= 40 Ft.

The Lighting Analysis, EIR, and Design Analysis are provided for information only. The Lighting Design is provided by RAB Lighting, Inc. ("RAB") represents an anticipated prediction of lighting system performance based on design parameters and information provided by others that have not been verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB does not warrant, either implied or stated, that the lighting design or energy consumption levels or any other information in this report is correct or that the lighting design will be installed as shown. RAB does not warrant, either implied or stated, that the lighting design or energy consumption levels or any other information in this report is correct or that the lighting design will be installed as shown. RAB does not warrant, either implied or stated, that the lighting design or energy consumption levels or any other information in this report is correct or that the lighting design will be installed as shown. RAB does not warrant, either implied or stated, that the lighting design or energy consumption levels or any other information in this report is correct or that the lighting design will be installed as shown.

PROJECT # 200033	Scale: as noted
CASE # 00944714	Date: 9/30/2022
Filename: Cape Rd Mendon Warehouse 00944714.AGI	Drawn By: K. Sullivan, LC

Job Name: Cape Rd Mendon Warehouse  
 Mendon, MA  
 Lighting Layout  
 Version A

Prepared For: Holbrook Associated  
 35 Reservoir Park Drive  
 Rockland, MA 02370  
 Tel: 781-871-0011

**RAB**  
 408 W 14th Street, New York, NY 10014  
 888-722-1000 • rablighting.com

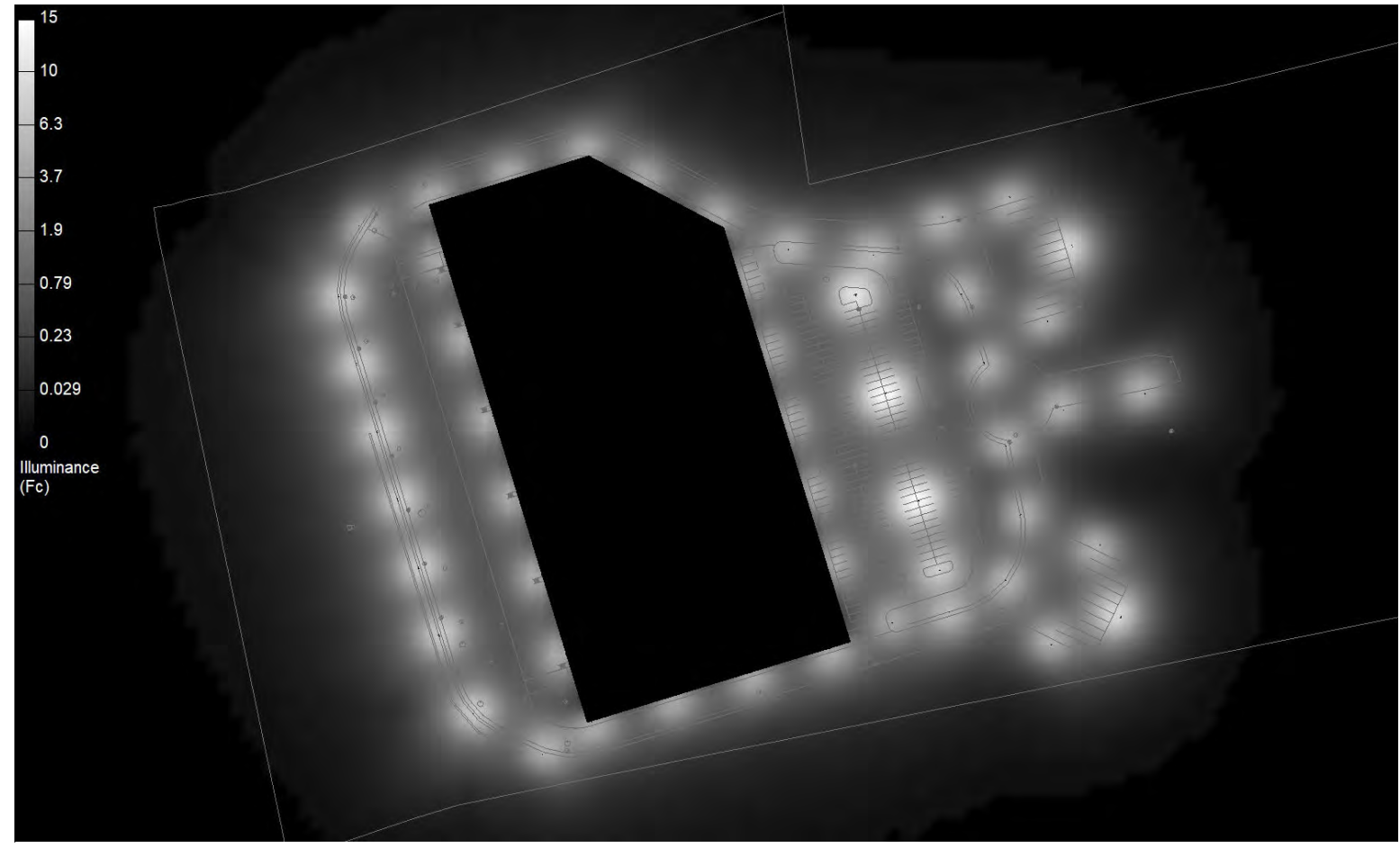
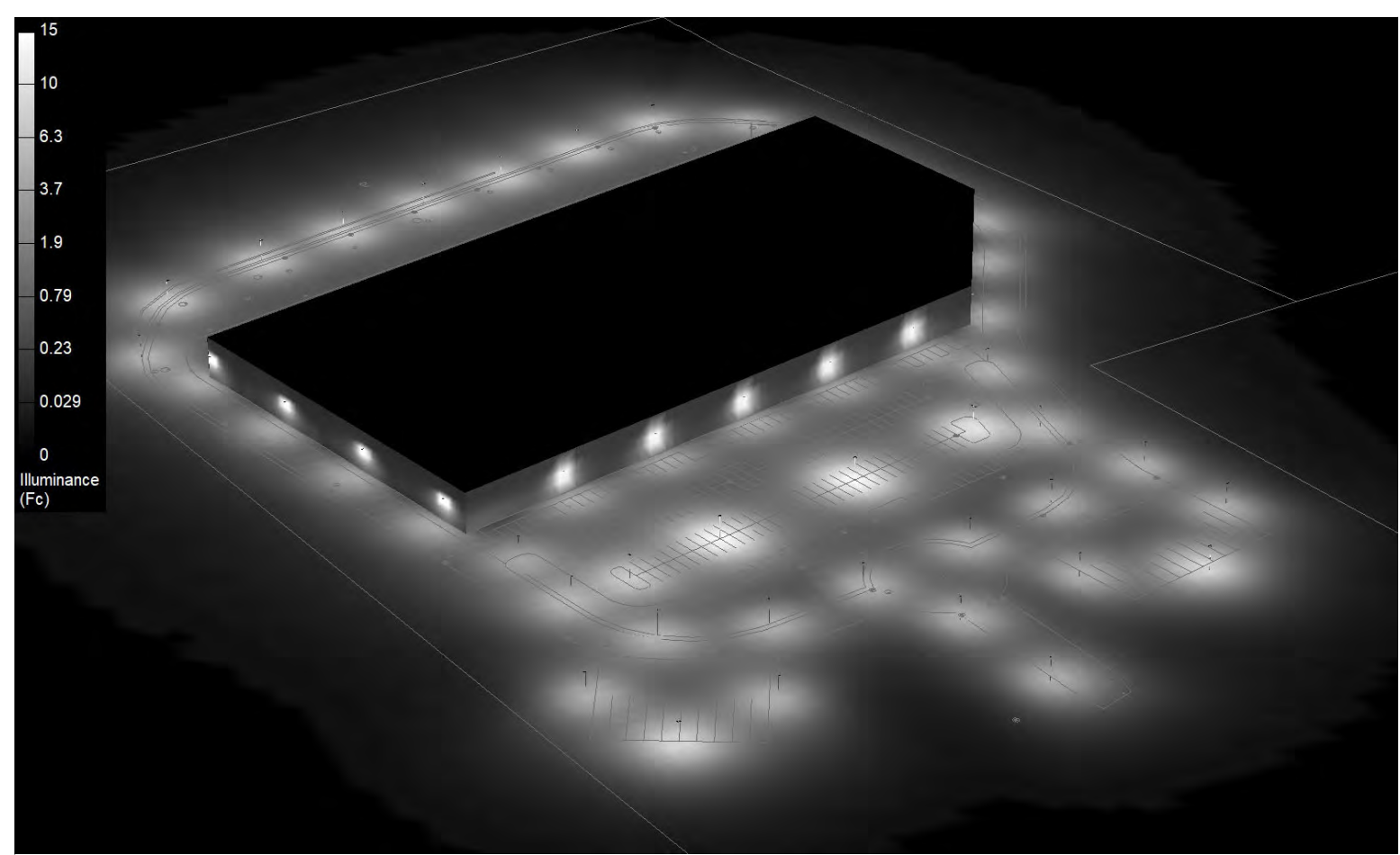
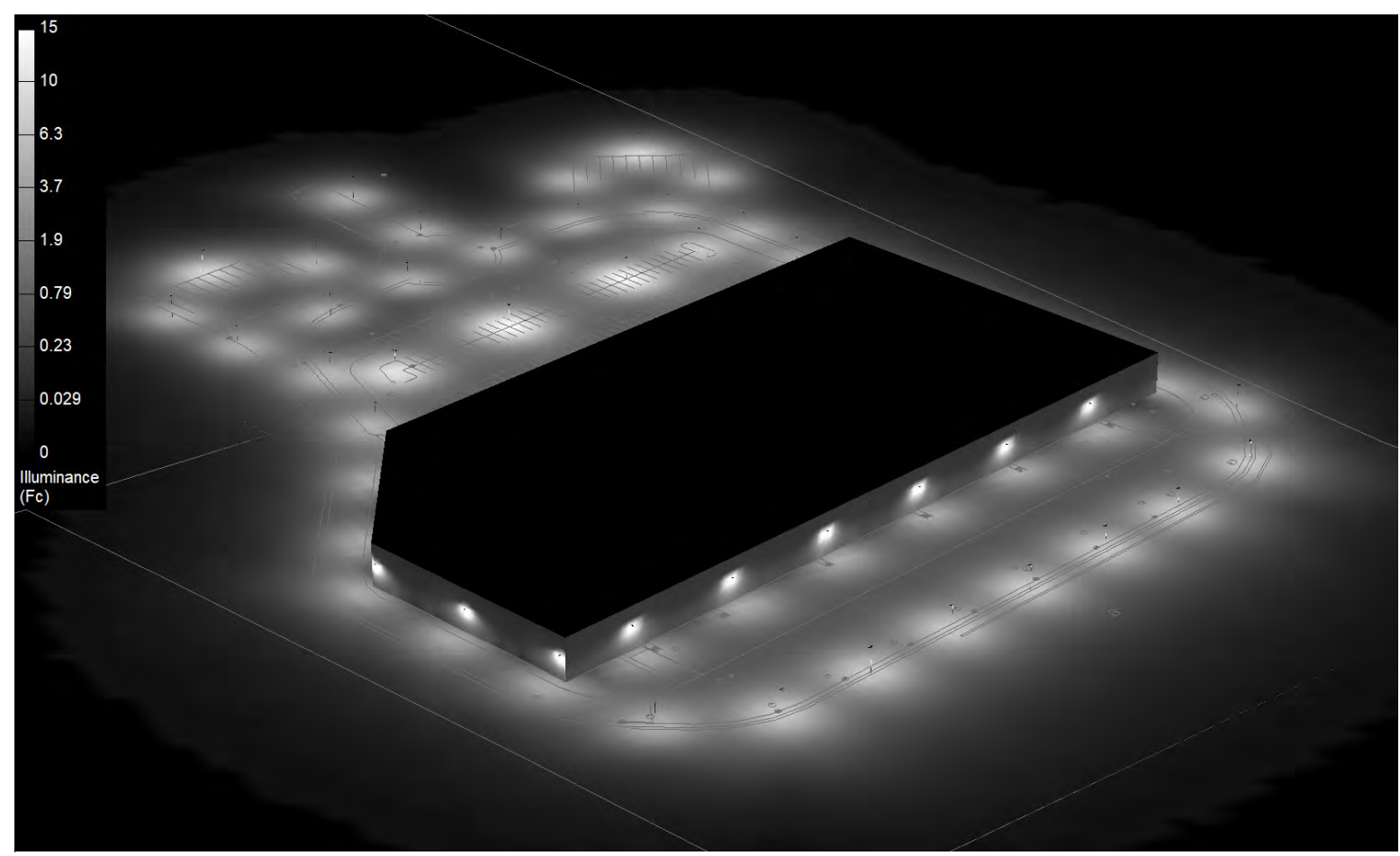


Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpctb	Meter Type
Property Line	Illuminance	Fc	0.03	0.5	0.0	N.A.	N.A.	readings taken at 0'-0" AFG	10	N.A.	Horizontal
Site	Illuminance	Fc	0.76	19.3	0.0	N.A.	N.A.	readings taken at 0'-0" AFG	10	10	Horizontal
Drive Lane	Illuminance	Fc	1.94	7.3	0.5	3.88	14.60	statistical area			
Loading-Unloading	Illuminance	Fc	1.71	8.5	0.5	3.42	17.00	statistical area			
Parking Lot	Illuminance	Fc	2.63	19.3	0.7	3.76	27.57	statistical area			
Truck Parking 1	Illuminance	Fc	1.92	9.5	0.5	3.84	19.00	statistical area			
Truck Parking 2	Illuminance	Fc	2.11	10.3	0.7	3.01	14.71	statistical area			

Luminaire Tag Summary	
Tag	Qty
A	41
C	28

All fixtures mounted at 20'-0" AFG

Luminaire Schedule												
All quotes/orders generated from this layout must be forwarded to the Local Rep Agency												
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	BUG Rating
	20	A	A17-4T100Y + A17-WM	Single	13696	13696	1.000	WALL MOUNT - 3000K SMC	97.63	97.63	1952.6	B3-U0-G3
	2	A	A17-4T100Y x 2@90	2 @ 90 degrees	13696	27392	1.000	UNIVERSAL POLE MOUNT - 3000K SMC 2@90	97.63	195.26	390.52	B3-U0-G3
	17	A	A17-4T100Y	Single	13696	13696	1.000	UNIVERSAL POLE MOUNT - 3000K SMC	97.63	97.63	1659.71	B3-U0-G3
	7	C	A17-5T100Y x 2@90	2 @ 90 degrees	13221	26442	1.000	UNIVERSAL POLE MOUNT - 3000K SMC 2@90	99.76	199.52	1396.64	B4-U0-G3
	1	C	A17-5T100Y x 3@90	3 @ 90 Degrees	13221	39663	1.000	UNIVERSAL POLE MOUNT - 3000K SMC 3@90	99.76	299.28	299.28	B4-U0-G3
	1	C	A17-5T100Y x 2@180	Back-Back	13221	26442	1.000	UNIVERSAL POLE MOUNT - 3000K SMC 2@180	99.76	199.52	199.52	B4-U0-G3
	2	C	A17-5T100Y x 4@90	4 @ 90 Degrees	13221	52884	1.000	UNIVERSAL POLE MOUNT - 3000K SMC 4@90	99.76	399.04	798.08	B4-U0-G3
	1	C	A17-5T100Y	Single	13221	13221	1.000	UNIVERSAL POLE MOUNT - 3000K SMC	99.76	99.76	99.76	B4-U0-G3



NOTES:

- \* The light loss factor (LLF) is a product of many variables. RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.
- \* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- \* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- \* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- \* RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("EPA") of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.
- \* The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- \* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.
- \* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/ip.
- \* The Lighting Analysis, EZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.
- \* RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.
- \* RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.
- \* Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

PROJECT # 200033  
 Scale: as noted  
 Date: 9/30/2022  
 CASE # 00944714  
 Filename: Cape Rd Mendon Warehouse 00944714A.AGI  
 Drawn By: K. Sullivan, LC

Job Name:  
 Cape Rd Mendon Warehouse  
 Mendon, MA  
 Lighting Layout  
 Version A

Prepared For:  
 Holbrook Associated  
 35 Reservoir Park Drive  
 Rockland, MA 02370  
 Tel: 781-871-0011



Filename: D:\PRE-0BS9-30 Cape Rd Mendon Warehouse\Cape Rd Mendon Warehouse 00944714A.AGI

The Lighting Analysis, EZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.  
 RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.  
 Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.