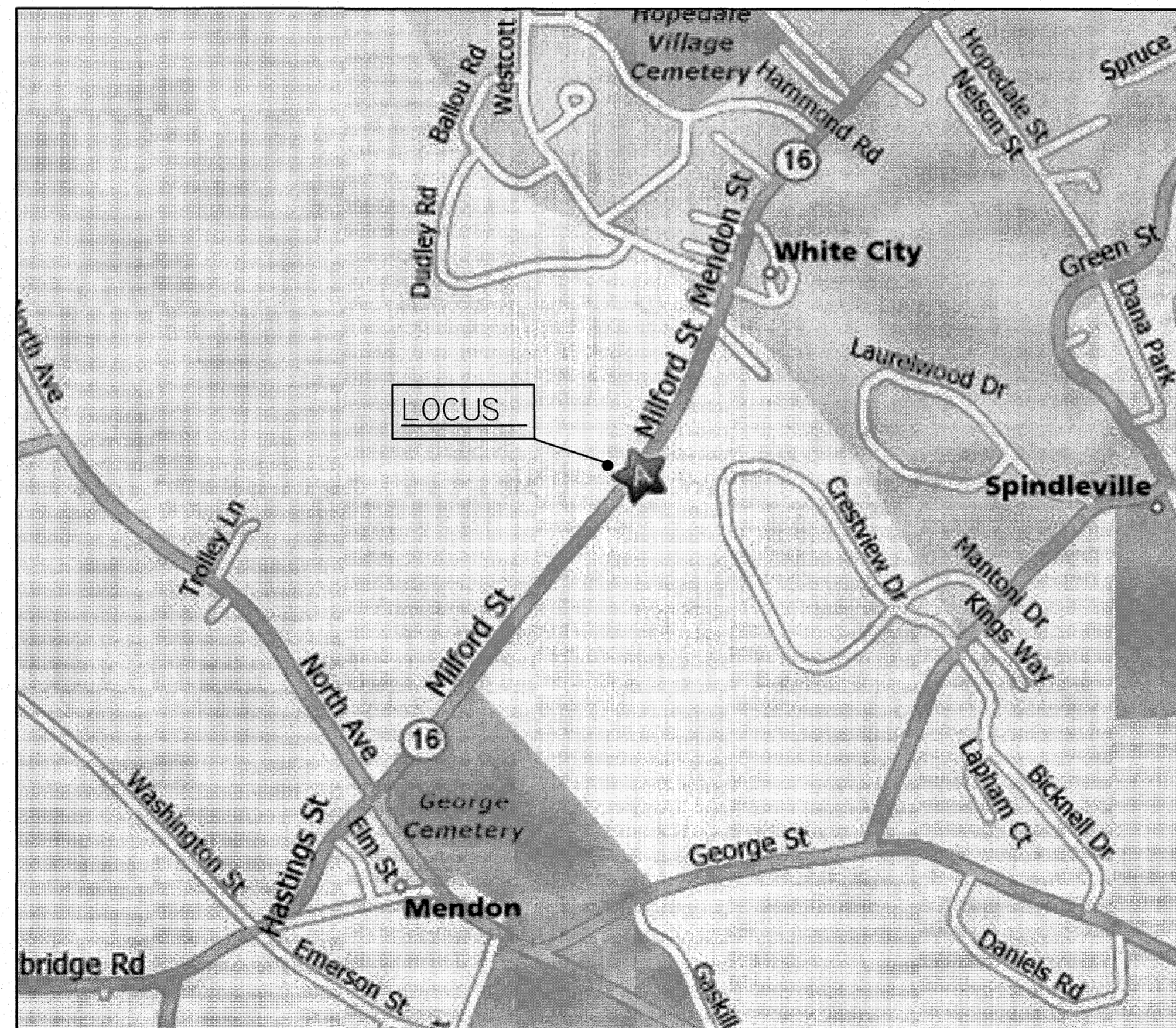


"PROPOSED ADULT ENTERTAINMENT SITE"

AT
49 MILFORD STREET
IN
MENDON, MASSACHUSETTS

OWNER:
GEORGE FUNARI
49 MILFORD STREET
MENDON, MA 01756

DATE: OCTOBER 30, 2008



LOCUS MAP
NOT TO SCALE

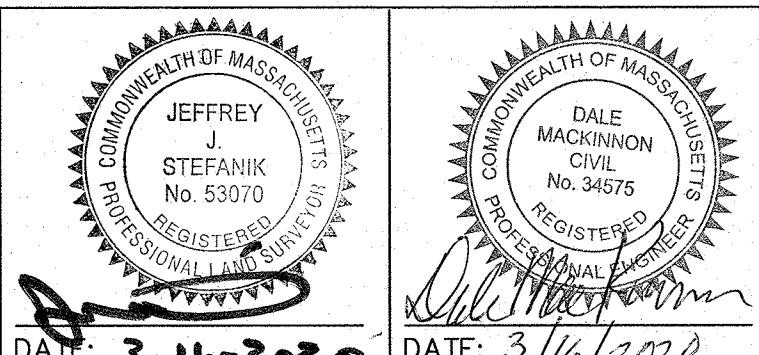
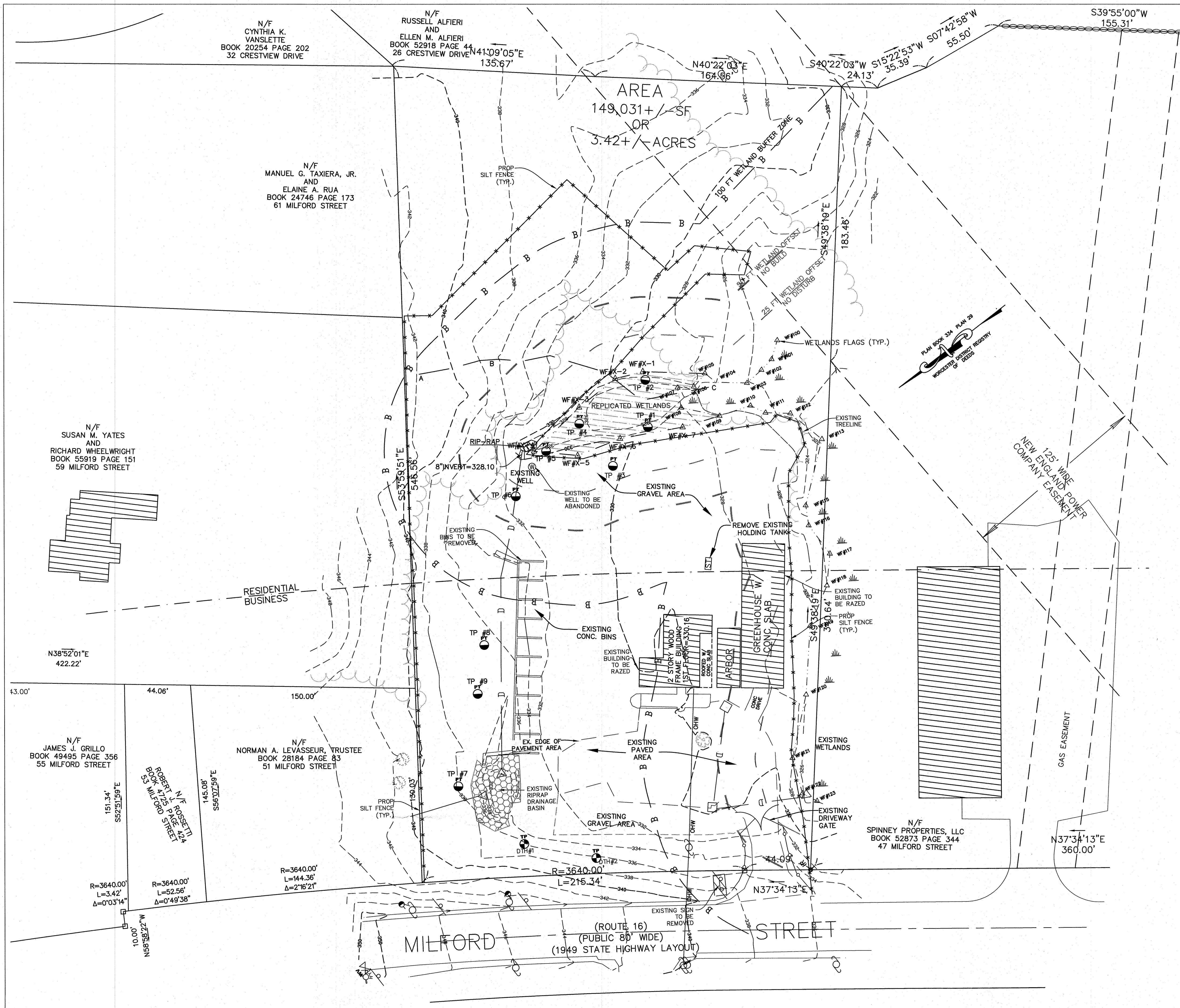
INDEX

2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING & UTILITY PLAN
5. LANDSCAPE PLAN
6. LIGHTING PLAN
7. DETAIL-1
8. DETAIL-2

REV.	DATE	DESCRIPTION	INT.
4	10/15/2020	MOVED DRIVEWAY ENTRANCE & GATE TO ALLOW A TO 1 SLOPE TO GRADING TO THE WETLANDS LINE	DMK
3	03/16/2020	REVISED FOR PLANNING BOARD MEETING COMMENTS	DMK
2	02/02/2020	REV FOR REVIEW COMMENTS	DMK
1	12/20/19	REV BLD, WETLANDS, GRADING, DRAINAGE AND UTILITIES	DMK



Guerriere & Halnon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MA 01757
(508) 473-6630 FAX: (508) 473-8243



DATE: 3-16-2020 DATE: 3/16/2020

- NOTES:
1. PARCEL REFERENCE IN THE MENDON TOWN ASSESSOR MAP 9 LOTS 49.
 2. PARCEL IS WITHIN THE ADULT ENTERTAINMENT OVERLAY DISTRICT FOR TOWN OF MENDON.
 3. ELEVATIONS REFER TO 1929 NGVD DATUM.
 4. LIGHTING SHALL CONFORM TO THE MENDON BYLAW. ALL PROPOSED LIGHTING WILL NOT CAUSE GLARE OFF-SITE.

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

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NOTES

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- ⊕ HYDRANT
- ⊕ WATER GATE
- 000- CONTOUR
- - - - - PROPOSED FENCE
- △ INVERT
- ▭ HEADWALL
- UTILITY POLE
- GUYWIRE
- WELL
- IRON PIN (I)
- STONE BOUND (I)
- DRILLHOLE (I)
- ⊕ STONEMALL
- ⊕ GUARDRAIL

REV.	DATE	DESCRIPTION	INIT
2	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/2019	WETLAND REPLICATION, 25' AND 50' OFFSETS	DMK

49 MILFORD STREET
PROPOSED ADULT ENTERTAINMENT SITE

OWNER/APPLICANT
GEORGE FUNARI
49 MILFORD STREET
MENDON, MA 01756
508-653-0139

EXISTING CONDITION PLAN OF LAND IN MENDON, MA
SCALE: 1"=30'
DATE: OCTOBER 30, 2008





DATE: 10/15/2020

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REV.	DATE	DESCRIPTION	INIT
7	10/15/2020	MOVED DRIVEWAY ENTRANCE & GATE TO ALLOW 3 TO 1 SLOPE GRADING TO THE WETLANDS LINE	DMK
6	03/16/2020	REVISIONS TO ADDRESS PLANNING BOARD COMMENTS	DMK
5	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
4	12/20/19	REVISED BUILDING, PARKING & WETLANDS	DMK
3	2/1/10	REVISED BUILDING & PARKING	PML
2	2/13/08	REVISED ADDITIONAL PARKING	PML
1	2/9/08	ADDED ADDITIONAL PARKING	PML
REV.	DATE	DESCRIPTION	INIT

ZONING
ADULT ENTERTAINMENT OVERLAY DISTRICT

INTENSITY OF USE	REQ'D. BUS.	PROPOSED
MIN. LOT REQUIREMENTS		
LOT AREA (SF)	40,000 S.F.	136,791 S.F. (UPLAND) 12,330 S.F. (WETLANDS)
LOT WIDTH (FT)	200'	265'
FRONTAGE (FT)	200'	259'
MIN. YARD REQUIREMENTS		
FRONT YARD SETBACK (FT)	100' *	113±'
SIDE YARD SETBACK (FT)	20'	73'
REAR YARD SETBACK (FT)	20'	344'
MINIMUM LOT DEPTH	200'	523±'
BLDG. COVERAGE	30%	3.2%

PARKING REQUIREMENTS:
 RESTAURANT:
 1 SPACE/5 EMPLOYEES: 24 EMPLOYEES/5=5 SPACES REQUIRED
 THEATERS & PLACE OF ASSEMBLY:
 1 SPACE/5 SEATS: 165 SEATS/5 SEATS=33 SPACES REQUIRED
 PROPOSED PROJECT REQUIRES 40 SPACES
 PROPOSED PROJECT PROPOSES 75 SPACES

* 5.01(f)(ii) ADULT ENTERTAINMENT OVERLAY DISTRICT

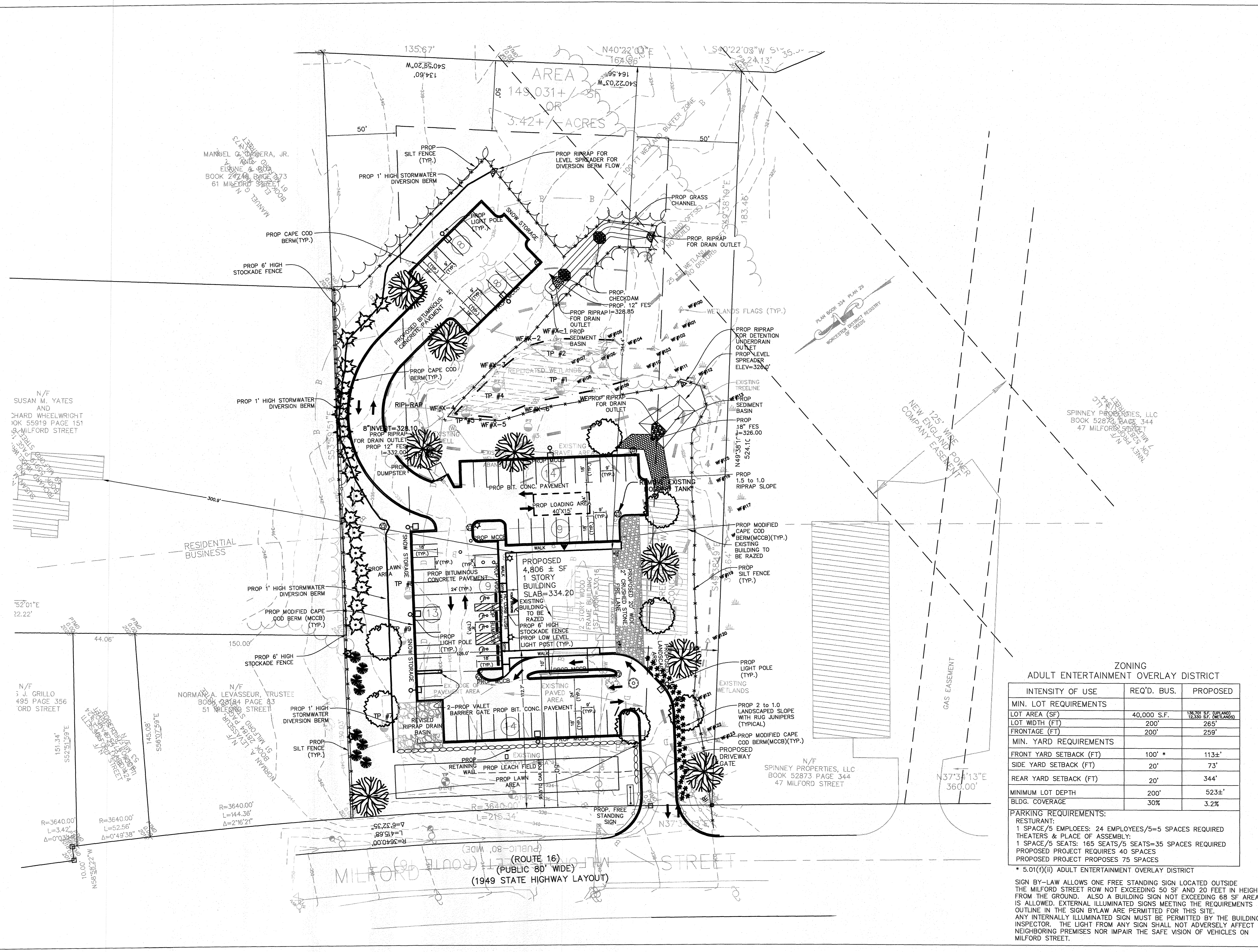
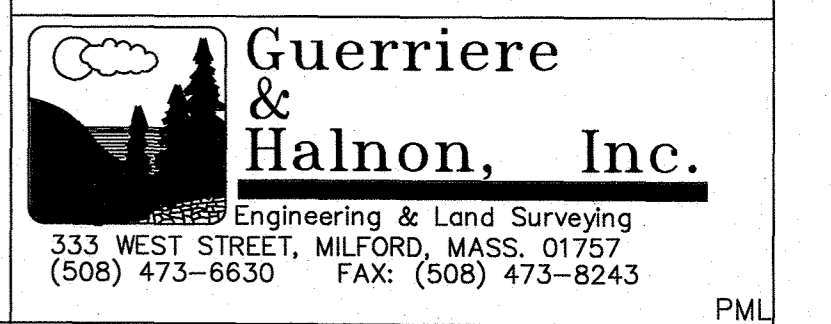
SIGN BY-LAW ALLOWS ONE FREE STANDING SIGN LOCATED OUTSIDE THE MILFORD STREET ROW NOT EXCEEDING 50 SF AND 20 FEET IN HEIGHT FROM THE GROUND. ALSO A BUILDING SIGN NOT EXCEEDING 68 SF AREA IS ALLOWED. EXTERNAL ILLUMINATED SIGNS MEETING THE REQUIREMENTS OUTLINE IN THE SIGN BYLAW ARE PERMITTED FOR THIS SITE. ANY INTERNALLY ILLUMINATED SIGN MUST BE PERMITTED BY THE BUILDING INSPECTOR. THE LIGHT FROM ANY SIGN SHALL NOT ADVERSELY AFFECT NEIGHBORING PREMISES NOR IMPAIR THE SAFE VISION OF VEHICLES ON MILFORD STREET.

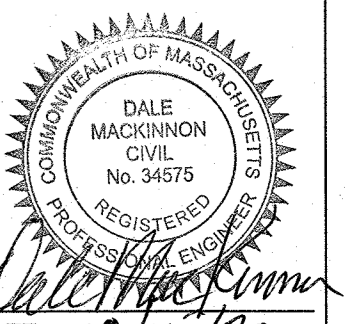
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 GEORGE FUNARI
 49 MILFORD STREET
 MENDON, MA 01756
 508-653-0139

SITE PLAN
OF LAND
IN
MENDON, MA

SCALE: 1"=30'
DATE: OCTOBER 30, 2008





DATE: 10/15/2020

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- — — GUARDRAIL

REV.	DATE	DESCRIPTION	INT.
4	10/15/2020	MOVED DRIVEWAY ENTRANCE & GATE TO ALLOW 3 TO 1 SLOPE/GRADING TO THE WETLANDS LINE	DMK
3	03/16/2020	REVISIONS TO ADDRESS PUBLIC HEARING	DMK
2	03/02/2020	REVISIONS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/19	REVISED GRADING DRAINAGE AND UTILITIES	DMK

49 MILFORD STREET
 PROPOSED ADULT
 ENTERTAINMENT SITE

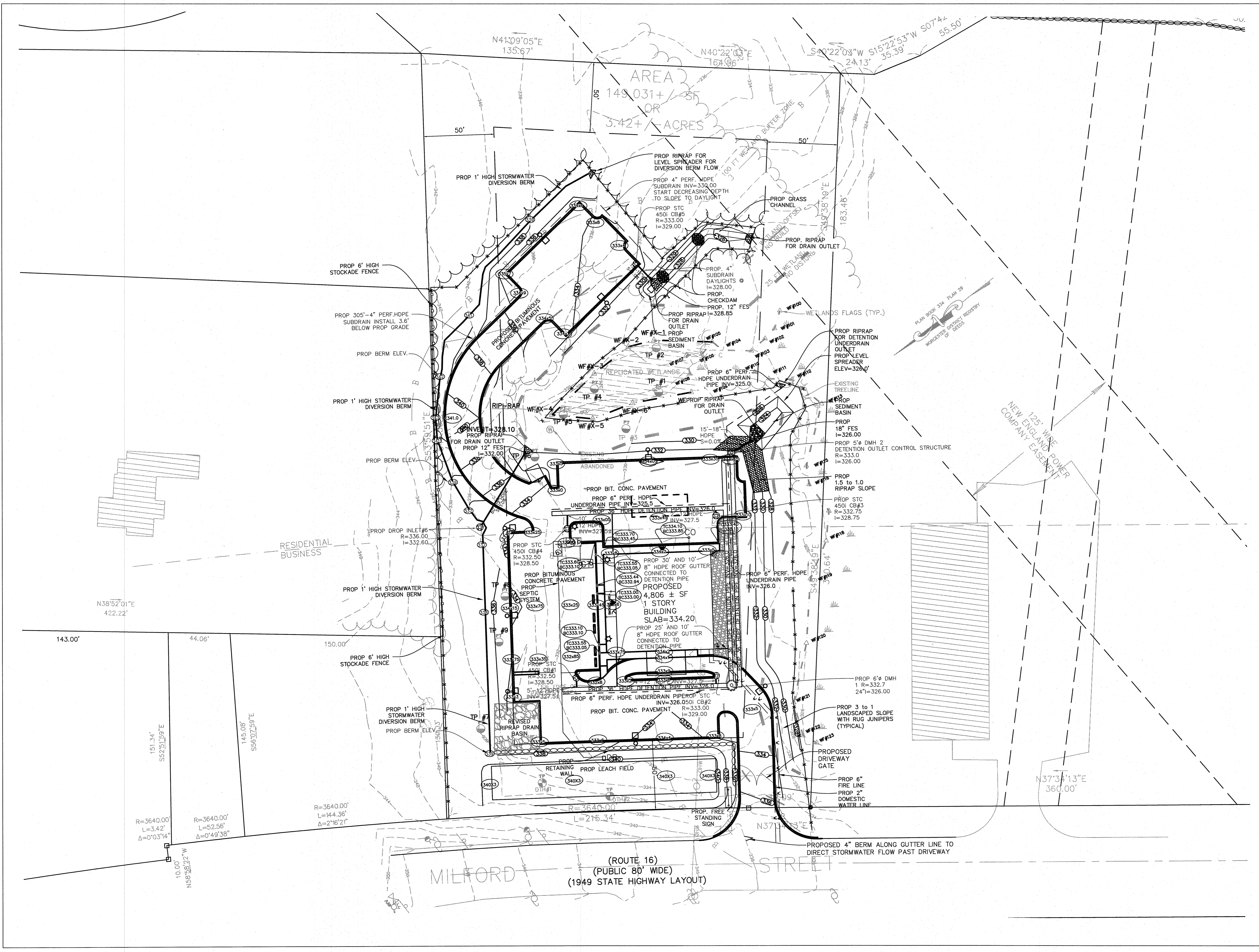
OWNER/APPLICANT
 GEORGE FUNARI
 49 MILFORD STREET
 MENDON, MA 01756
 508-653-0139

GRADING & UTILITIES PLAN
 OF LAND

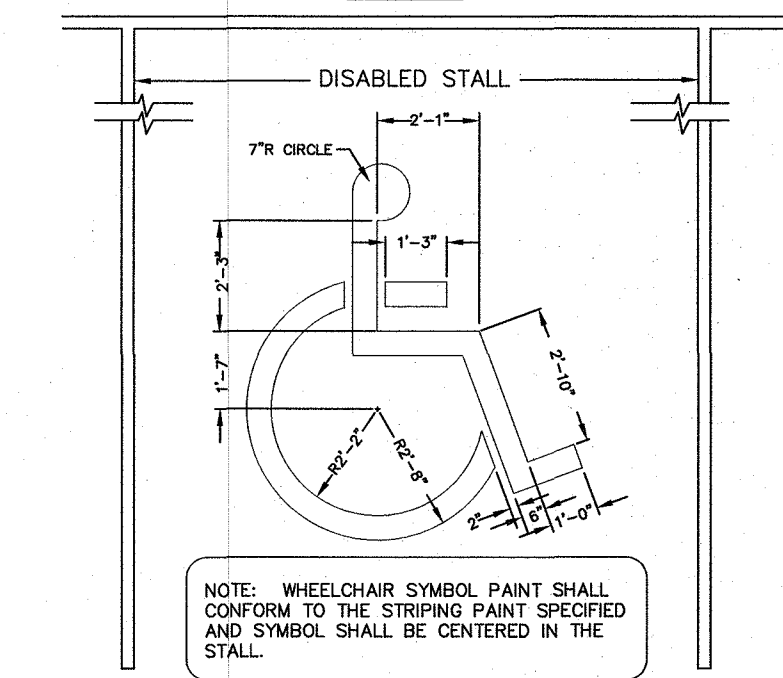
IN
 MENDON, MA

SCALE: 1"=30'
 DATE: OCTOBER 30, 2008

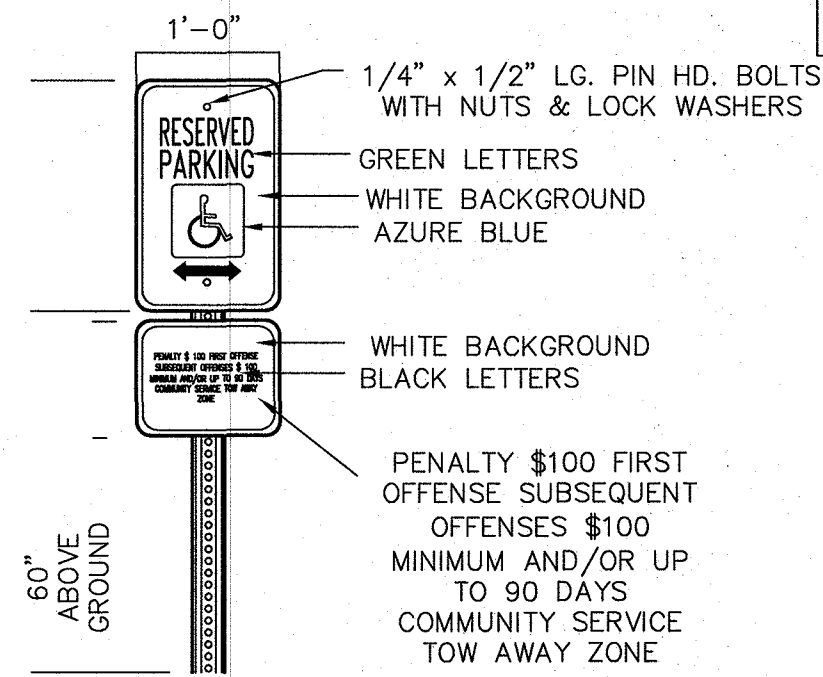
Guerriere & Halon, Inc.
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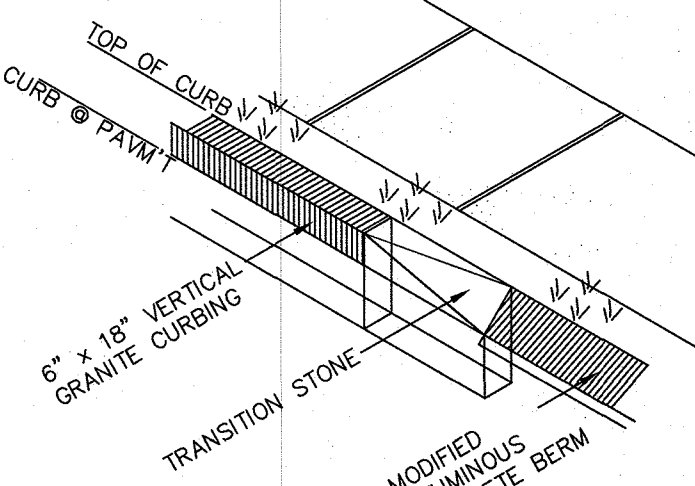
- DISABLED PARKING SIGN
- 1) 12"x18" 5' TO BOTTOM OF SYMBOL LOCATED SO THAT IT CANNOT BE OBTAINED BY A CAR PARKED IN THE SPACE. (2' BEHIND CURB OR 2' BEHIND WALK, AS APPLICABLE)
 - 2.) CONFORM TO LOCAL CODES.



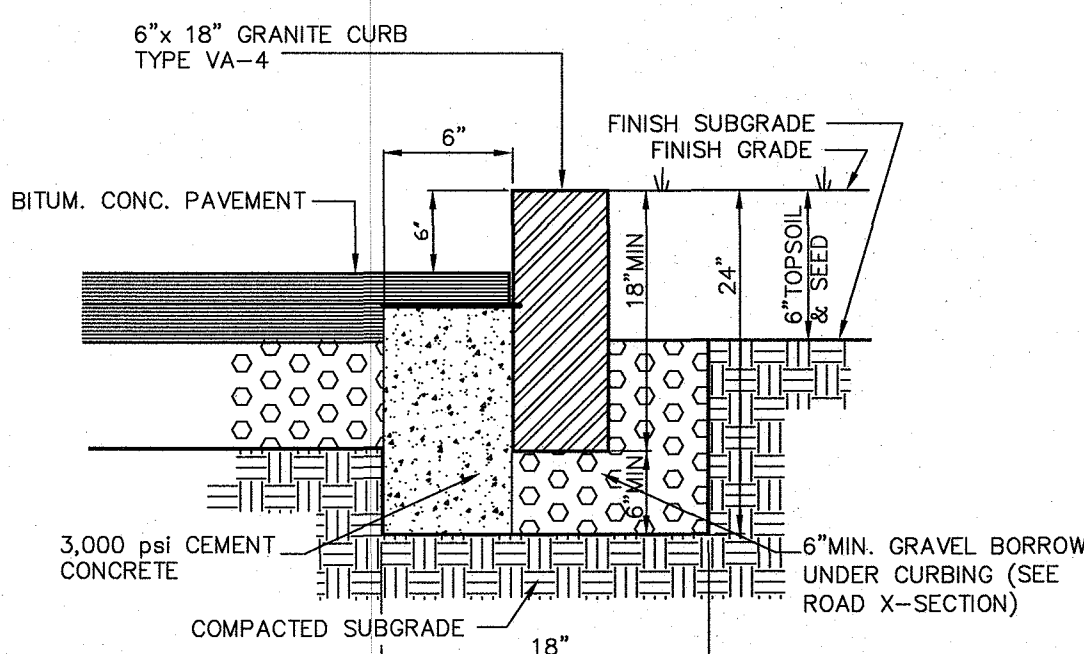
HANDICAP PARKING SPACE PAINTING DETAIL
NOT TO SCALE



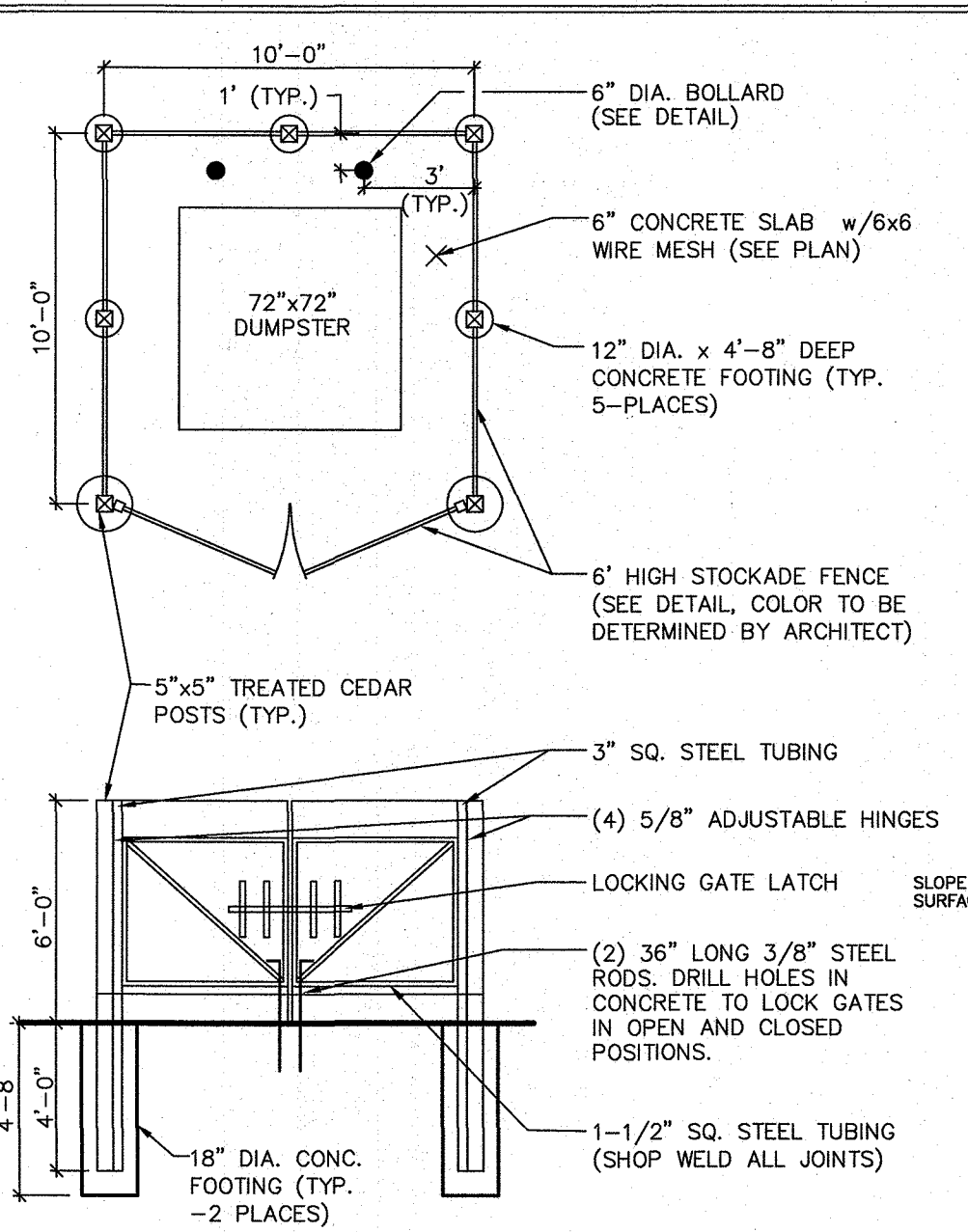
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



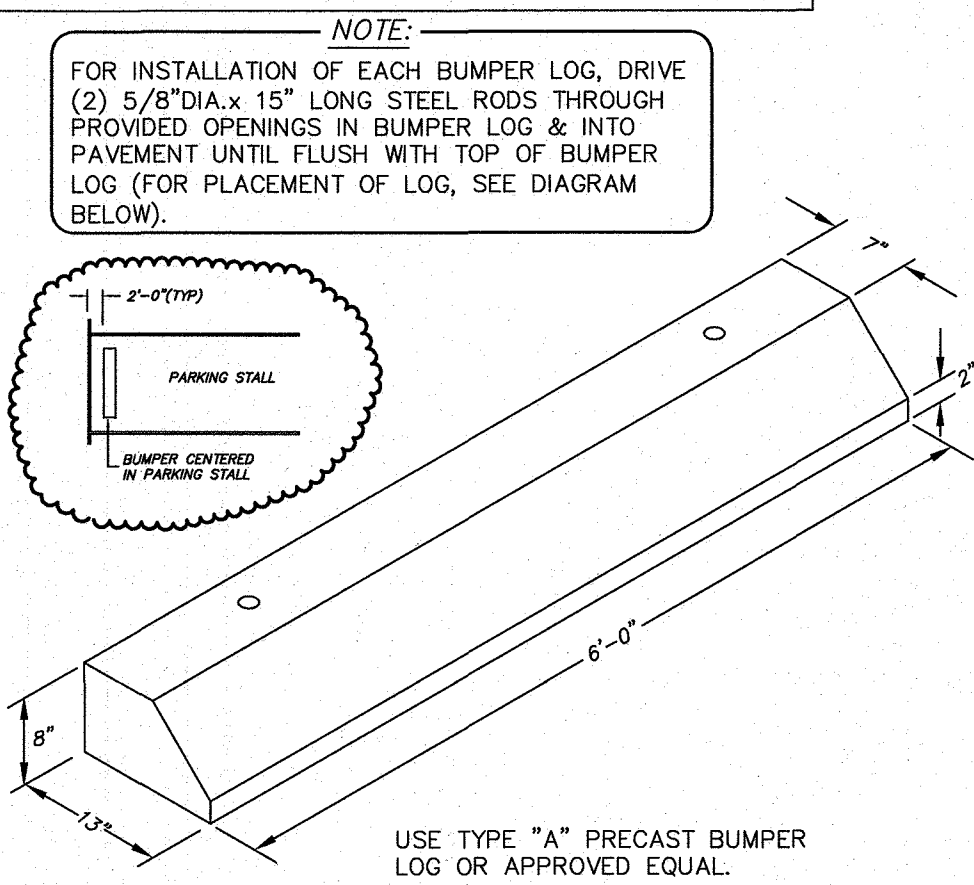
CURB TRANSITION DETAIL
NOT TO SCALE



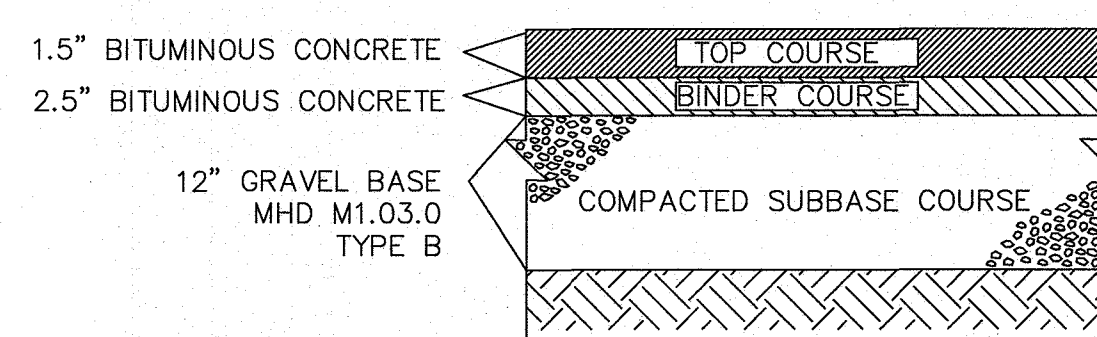
TYP. VERTICAL GRANITE CURB
NOT TO SCALE



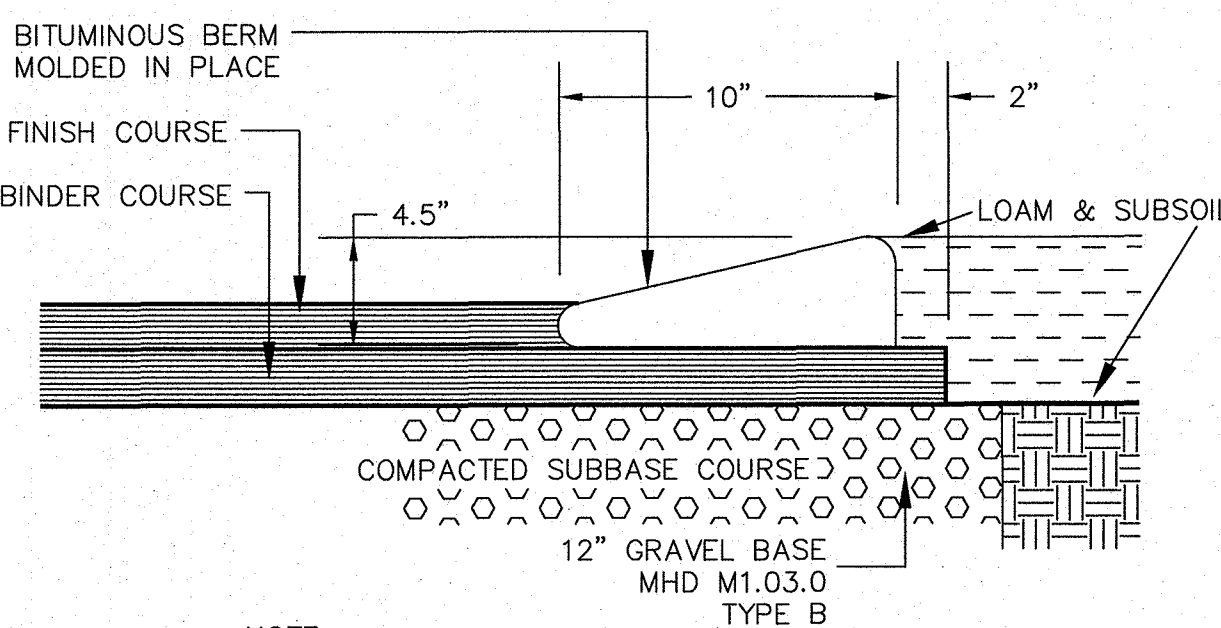
TRASH ENCLOSURE
SCALE: NOT TO SCALE



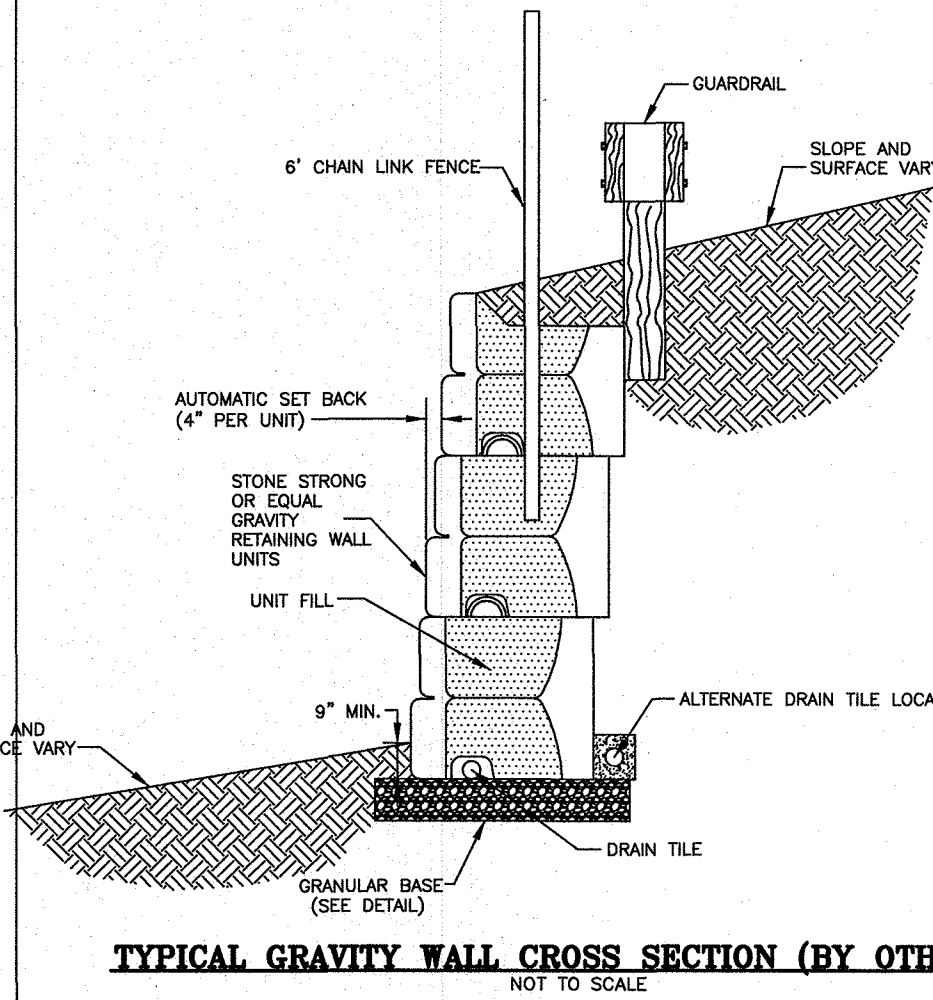
PRECAST CONCRETE BUMPER LOG DETAIL
N.T.S.



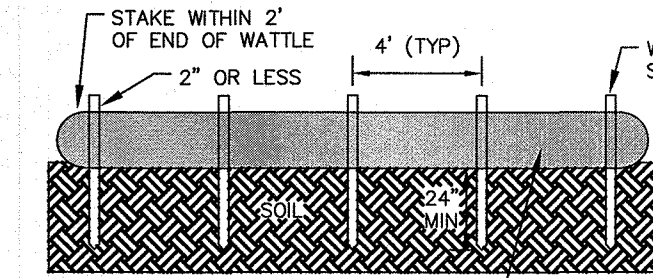
BITUMINOUS PAVEMENT DETAIL
NOT TO SCALE



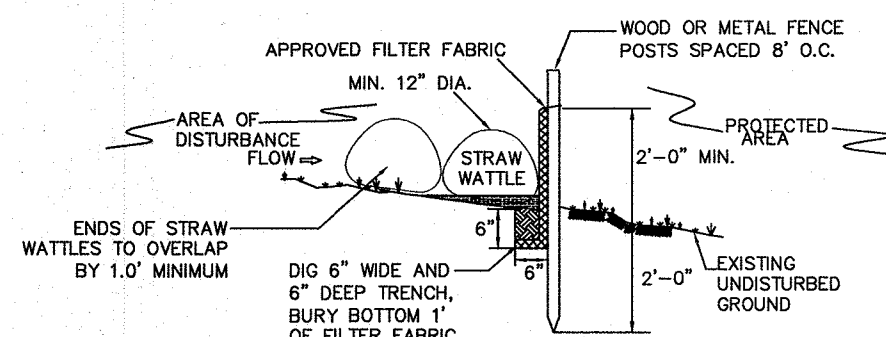
BITUMINOUS CONCRETE BERM (MODIFIED CAPE COD BERM)
NOT TO SCALE



TYPICAL GRAVITY WALL CROSS SECTION (BY OTHERS)
NOT TO SCALE



STRAW WATTLE EROSION CONTROL BARRIER
NOT TO SCALE



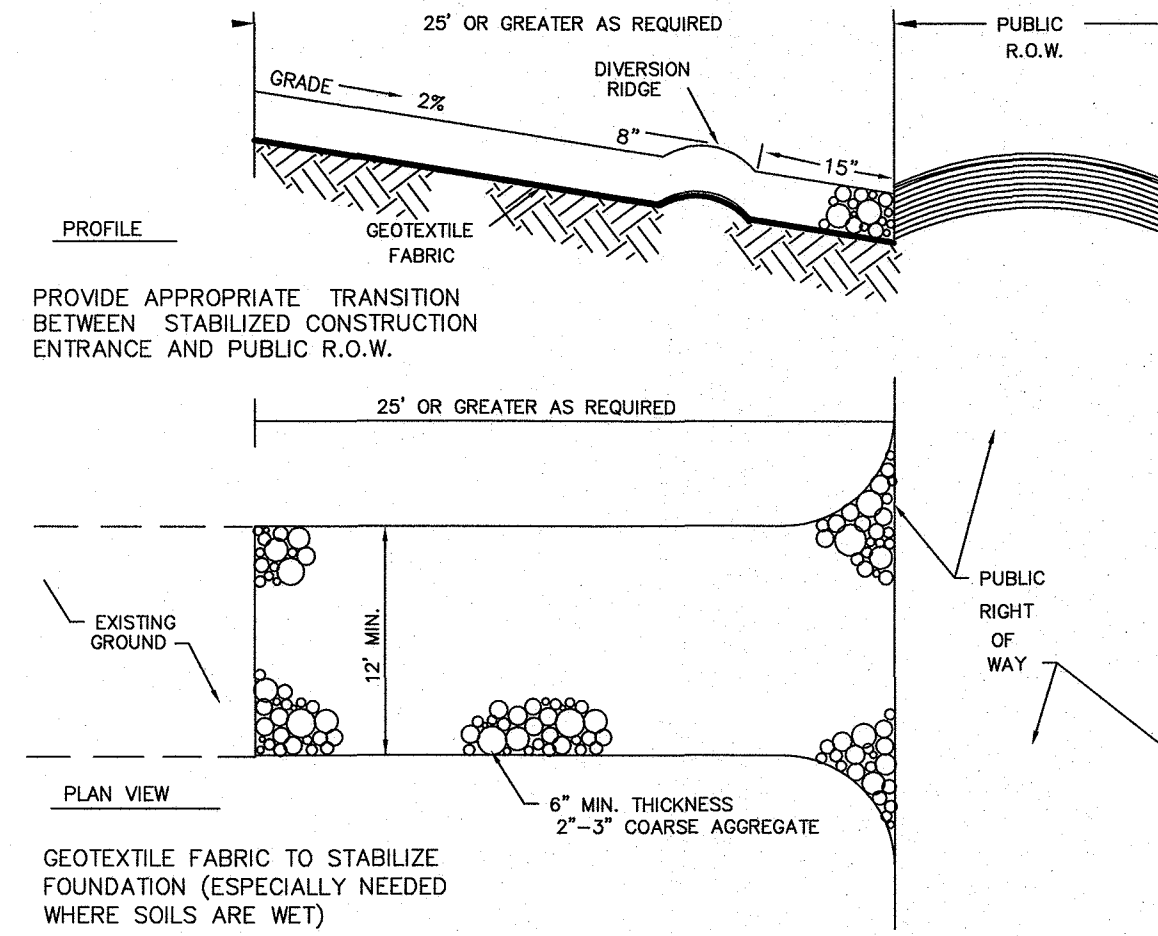
SILTATION AND EROSION CONTROL BARRIER
NOT TO SCALE

Interim Erosion Control and Construction Sequence

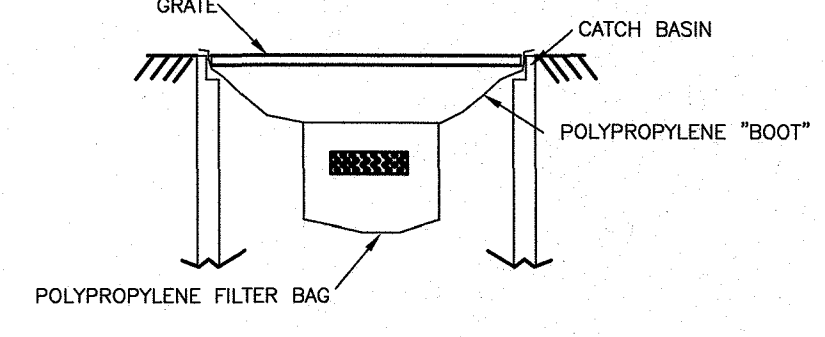
1. Install erosion control barriers
2. Clear site of all trees designated to be removed
3. Construct site berm around limits of temporary basins site to maintain stormwater runoff on site.
4. Stockpile loam, or remove loam.
5. Construct drainage system.
6. The outlet devices will be plugged and no water will be allowed to leave the site. If water buildup is excessive, install filter fabric and 1" - 1 1/2" washed stone (as filter) at the outlet to allow temporary retention/detention sediment pond to drain. The drainage shall be monitored by the contractor.
7. Bring site to sub-grade.
8. Excavate foundations, use materials as fill for site, construct foundation and building.
9. All slopes along the property lines shall be mulched temporarily, if disturbed within 7 days.
10. Temporary stone (3" - 6") shall be placed at the project entrance when accessing existing pavement. Sweeping is required if fines are observed in the public ways.
11. All disturbed areas not treated with permanent loam and seed shall be covered with mulch, or other erosion control device.
12. All construction grades in the interim shall be sloped to flow into the temporary basin, where possible.
13. The site mitigation of erosion in those areas to be landscaped or mulched shall be to install as soon as possible.
14. Clean all sediment out of the catch basins and install per plan specifications prior to final grading and surface stabilization.
15. The subsurface drainage system shall be installed prior to pavement installation proper filter fabric shall be placed at inlets to keep the storm drainage clean of debris.
16. Once the curb is installed, the permanent mulch and landscaping shall be installed.
17. Sediment control shall remain in place until the site is stabilized.
18. Clean all on site catch basins, manholes, piping, and subsurface drainage system. Install silt bags at each catch basin.
19. Keep site swept and maintained per stormwater management plan.

General erosion control and Construction notes

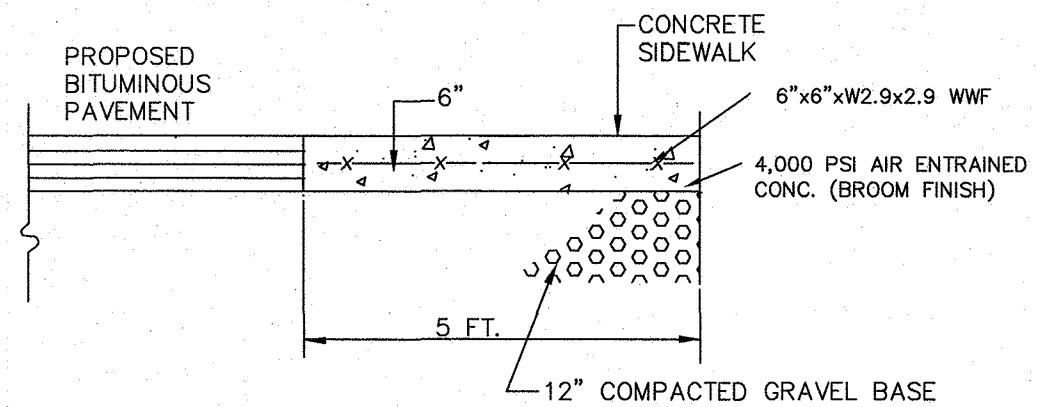
1. The limits of all clearing, grading and disturbance shall be kept to a minimum within the proposed area of construction. All areas outside the limits of disturbance shall remain totally undisturbed.
2. Inspect all sediment and erosion control measures at least once per week and within 24 hours after every rainfall event.
3. Maintain all erosion and sediment control measures or replace as required to assure proper function.
4. Contractor shall immediately repair any and all erosion and sediment controls found to be faulty.
5. Any and all debris and litter which accumulates in the basins shall be removed weekly.
6. The contractor shall implement all reasonable erosion and sediment controls prior to the actual commencement of construction activities including the clearing and/or grubbing of any portion of the property. These measures shall be maintained in effect throughout the entire construction phase, or until the site has become stabilized with an adequate vegetative cover.
7. Sediment build up behind filtermitt shall be monitored and be removed whenever it has accumulated to four inches in depth.
8. Sediment build up in the basin shall be promptly removed if accumulation exceeds twelve (12) inches in depth at the outlets.
9. Catch basins shall be protected with silt filters (silt sacks). Inspect sediment filters at least once per week and within 24 hours after rainfall that produces runoff.
10. Clean or replace filters within 24 hours of inspection when sediment reaches one half of the filter sack depth. Catch basins shall be protected by sediment filters throughout the construction period and until all disturbed areas are thoroughly stabilized. Sumps shall be cleaned whenever sediment has accumulated to a depth of 24 inches and immediately following installation of permanent pavement.
11. The contractor shall maintain an adequate stockpile of erosion control materials on-site at all times for emergency or routine replacement and shall include materials to repair or replace silt fence, haybales, stone filter dikes or any other devices planned for use during construction.
12. The contractor is to inspect all controls no less than weekly, and in anticipation of rainfall events expected to exceed 1/2 inch in depth. All deficiencies noted during said inspection shall be repaired immediately and in no case shall a deficiency be allowed to go uncorrected during a rainfall event. The erosion control devices shall be maintained, reinforced, or replaced if necessary. All accumulated sediments and other materials collected by the sedimentation control systems shall be removed as necessary to insure proper function of systems and disposed of in a manner that is consistent with the intent of this plan, in an upland area.
13. Storm drain inlet protection shall be used for all existing and proposed catch basins in the project area. Prior to completion of the project, all catch basins within the project area shall be cleaned.
14. All disturbed earth slopes area to be stabilized with permanent vegetative cover, to be established as soon as possible. Disturbed areas that are not subject to construction traffic shall receive a permanent or temporary vegetative cover as soon as final contours are established. Temporary vegetative cover is to be established on all disturbed areas where construction activities will not require additional disturbance for period of 30 days or more. If the season prevents the establishment of vegetative cover, disturbed areas shall be mulched and then seeded as soon as weather conditions allow.
15. All plantings shall be accomplished by the contractor as early as the possible upon completion of grading and construction.
16. All plantings shall be watered and maintained by the contractor to ensure survival.
17. Erosion Control shall remain in place until the Certificate of Compliance is issued.



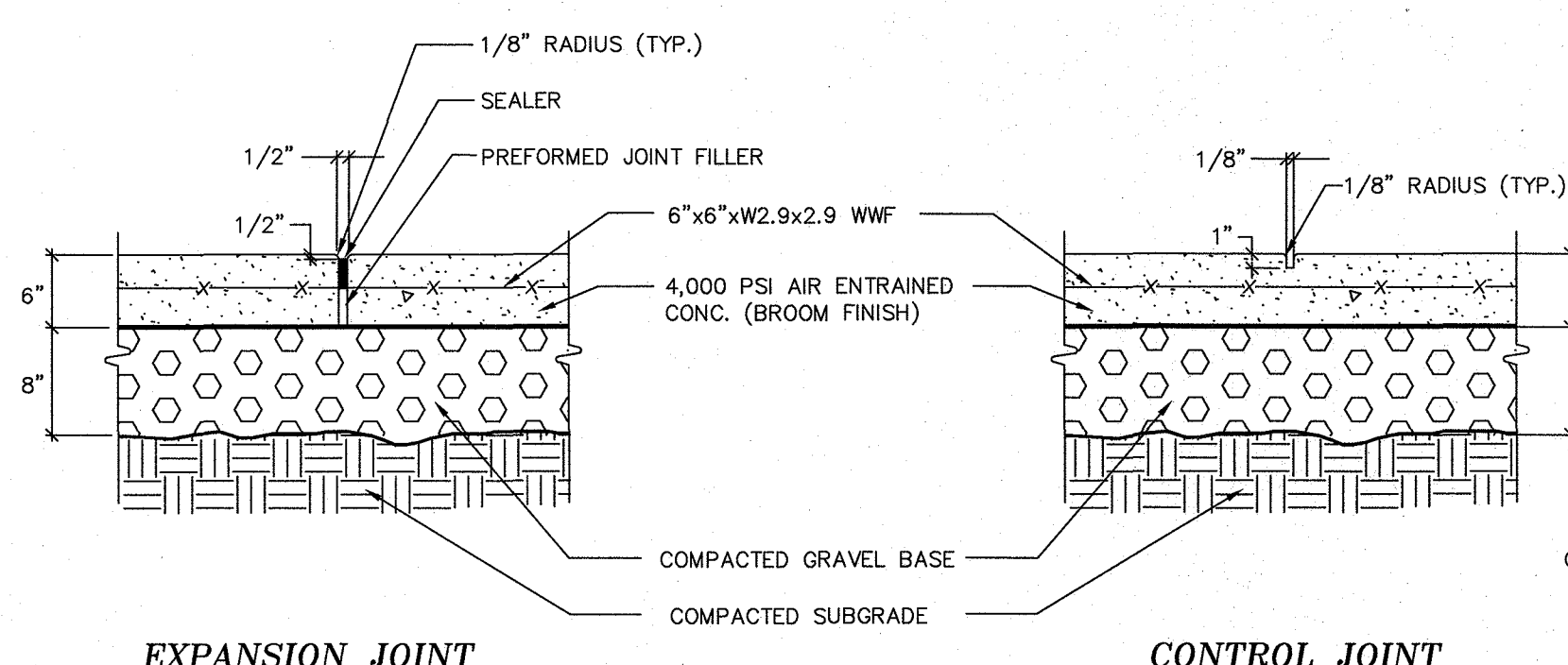
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



SILTATION BASKET TYPE II-S (SEDIMENT)
N.T.S.

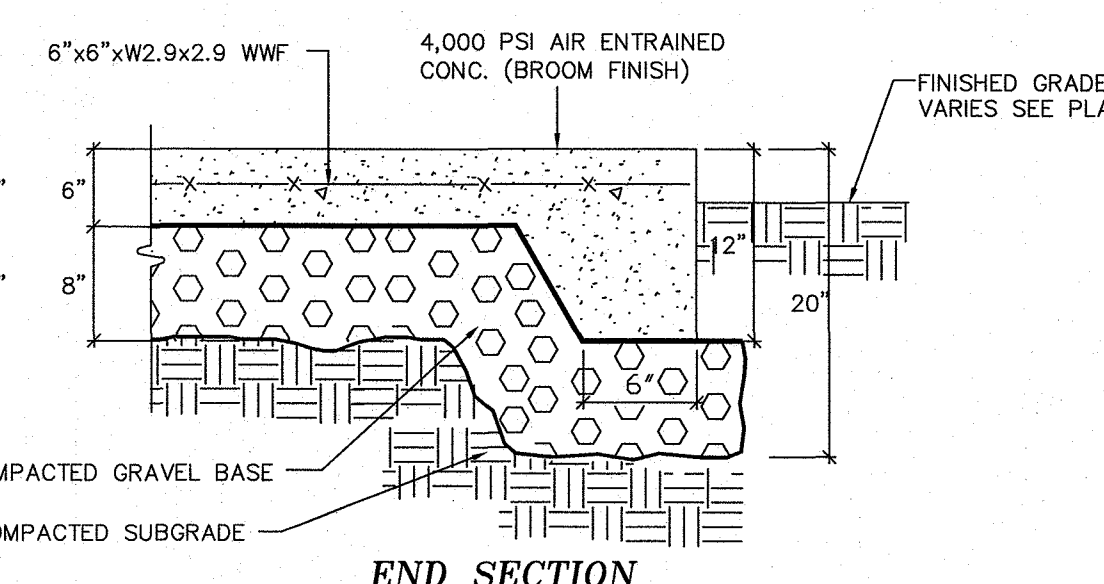


PAVEMENT/ CONCRETE SIDEWALK DETAIL FLUSH FOR HANDICAP ACCESSIBILITY
NOT TO SCALE

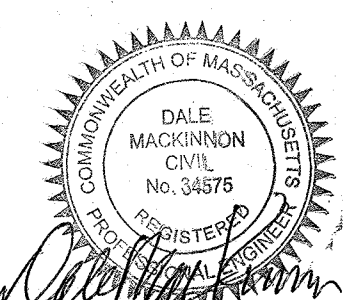


EXPANSION JOINT

CONTROL JOINT



TYP. CONC. SIDEWALK DETAILS
N.T.S.



DATE: 10/15/2020

DATE:

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REV.	DATE	DESCRIPTION	INT
2	03/02/2020	REV. DETAILS TO ADDRESS REVIEW COMMENTS	DMK
1	12/20/19	REVISED DETAILS FOR REVISED SITE PLANS	DMK

49 MILFORD STREET PROPOSED ADULT ENTERTAINMENT SITE

OWNER/APPLICANT

GEORGE FUNARI
49 MILFORD STREET
MENDON, MA 01756
508-653-0139

DETAIL-1 SHEET FOR SITE IN MENDON, MA

SCALE: 1"=30'
DATE: OCTOBER 30, 2008

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